

**CITY OF WILMINGTON STANDARD NOTES**

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES & NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- NO LAND DISTURBANCE INCLUDING TREE REMOVAL IS TO OCCUR OUTSIDE THE LIMITS OF DISTURBANCE SHOWN ON THE PLANS.
- NO EQUIPMENT IS ALLOWED ON THE SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING HAS BEEN INSTALLED & APPROVED.
- PROTECTIVE TREE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
- LAND CLEARING AND CONSTRUCTION SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION REQUIREMENTS & METHODS.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY & FDR DRIVEWAYS ARE TO BE THERMOPLASTIC & MEET CITY AND/OR NCDOT STANDARDS.
- IT SHALL BE THE SUBDIVIDER'S RESPONSIBILITY TO ERECT OFFICIAL STREET NAME SIGNS AT ALL INTERSECTIONS ASSOCIATED WITH THE SUBDIVISION IN ACCORDANCE WITH THE TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CALL TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY APRON PANELS, OR CURB AND GUTTER SECTIONS SHALL BE REPLACED.
- CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS/CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 332-6558 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE & MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA WATER SHALL COMPLY WITH THE CFPWA CROSS CONNECTION CONTROL REGULATIONS. CALL 332-6558 FOR INFORMATION.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USOCFCCOR OR ASSE.
- ALL TRAFFIC CONTROL SIGNS & MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- ALL PAVEMENT MARKINGS REGULATING TRAFFIC FLOW MUST BE THERMOPLASTIC.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET (CONTACT 341-5888 FOR MORE DETAILS). IN CERTAIN CASES, AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
- A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT.
- CONTACT THE NORTH CAROLINA DUE CALL CENTER PRIOR TO DOING ANY DIGGING, 1-800-632-4949.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS.

**FIRE AND LIFE SAFETY NOTES**

- PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS OR FDC'S. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
- FIRE HYDRANTS CANNOT BE FURTHER THAN 8' FROM THE CURB.
- NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE JOB SITE.
- ALL WEATHER ACCESS ROAD MUST BE MAINTAINED AROUND CONSTRUCTION SITE AT ALL TIMES.
- PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE & LIFE SAFETY DIVISION AT 910-343-0696.
- A MINIMUM OF 5' SHALL SEPARATE UNDERGROUND FIRE LINES OR PRIVATE WATER MAINS FROM OTHER UNDERGROUND UTILITIES.
- FDC'S CAN BE NO FURTHER THAN 150' FROM A FIRE HYDRANT.
- FDC'S CAN BE NO FURTHER THAN 40' FROM FIRE DEPARTMENT VEHICLE PLACEMENT.
- BUILDING CONSTRUCTION TYPE ACCORDING TO THE INTERNATIONAL BUILDING CODE IS III-B.
- TAMPER SWITCHES SHALL BE INSTALLED ON ALL VALVES THAT ARE CAPABLE OF TURNING THE WATER SUPPLY OFF TO THE SPRINKLER SYSTEMS.

**SITE DATA**

PROPERTY OWNER: RACINE APARTMENTS, LLC  
 PROJECT ADDRESS: 375 GOVERNMENT CENTER DRIVE  
 PIN NUMBER: R05017-001-009-000  
 ZONING DISTRICT: CDMU (COMMERCIAL DISTRICT MIXED USE) WITHIN RB (REGIONAL BUSINESS)  
 FLOOD AREA: THIS TRACT IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 3720314700J & 3720314800J.  
 EFFECTIVE: APRIL 3, 2009  
 MAXIMUM ALLOWABLE BUILDING HEIGHT (BASED ON REQUIRED SETBACK USED): 65'  
 MAXIMUM PROPOSED BUILDING HEIGHT (AVG. EX. GROUND ELEV.=41.89 TO THE HIGHEST FINISHED ROOF SURFACE ELEV.=401.98): 60.09'  
 BUILDING SETBACKS, REQUIRED: FRONT-25', REAR-31', INTERIOR SIDE (ADJACENT TO RESIDENTIAL DISTRICT)-77', INTERIOR SIDE (OTHER)-16'  
 BUILDING SETBACKS, PROPOSED: FRONT-25.50', REAR-67.59' INTERIOR SIDE (ADJACENT TO RESIDENTIAL DISTRICT)-133.88'+, INTERIOR SIDE (OTHER)-58.68'+  
 SITE AREA: 100,181.40 SF = 2.30 ACRES ±  
 TOTAL UNITS: 44 (40-THREE BEDROOM & 5-TWO BEDROOM)  
 PROPOSED BUILDING AREA (1ST FLOOR FDOTPRINT), EXCLUDES PORCHES, PATIOS, BALCONIES, & ROOF OVERHANGS: 16,503.32 SF  
 MAXIMUM ALLOWABLE LOT COVERAGE: 40%  
 PROPOSED LOT COVERAGE: 16,503.32 / 100,181.40 x 100% = 16.47%  
 NUMBER OF PROPOSED BUILDINGS: 3  
 BUILDING SIZE (EXCLUDES PATIOS & BALCONIES):

BUILDING	SQUARE FOOTAGE (1ST STORY)	SQUARE FOOTAGE (2ND STORY)	SQUARE FOOTAGE (3RD STORY)	SQUARE FOOTAGE (4TH STORY)	SQUARE FOOTAGE (5TH STORY)
RETAIL, AMENITY & APARTMENT CABANA & STORAGE	15,079.61	15,198.71	15,198.71	15,198.71	15,198.71
AMENITY	375.00	N/A	N/A	N/A	N/A

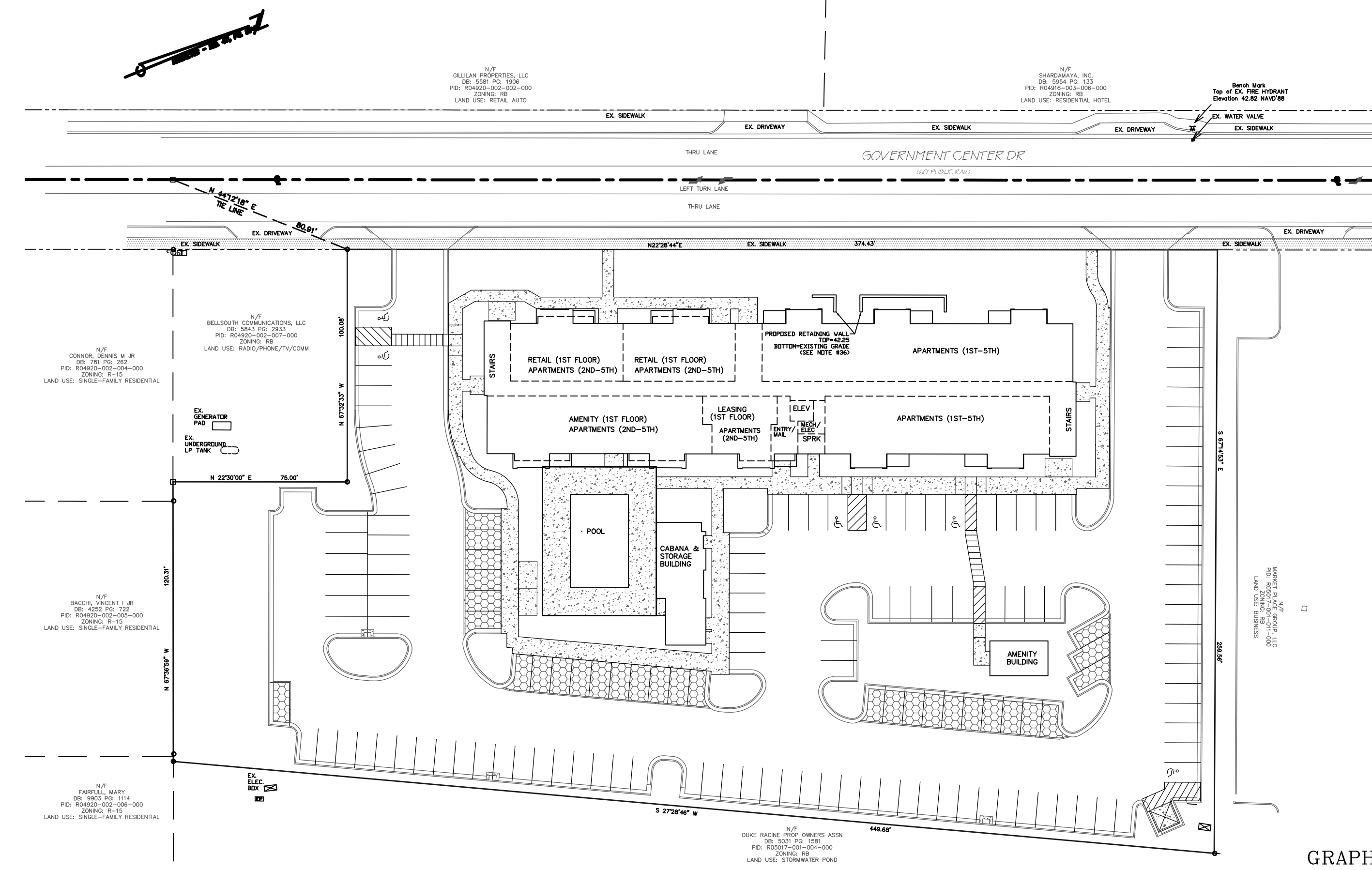
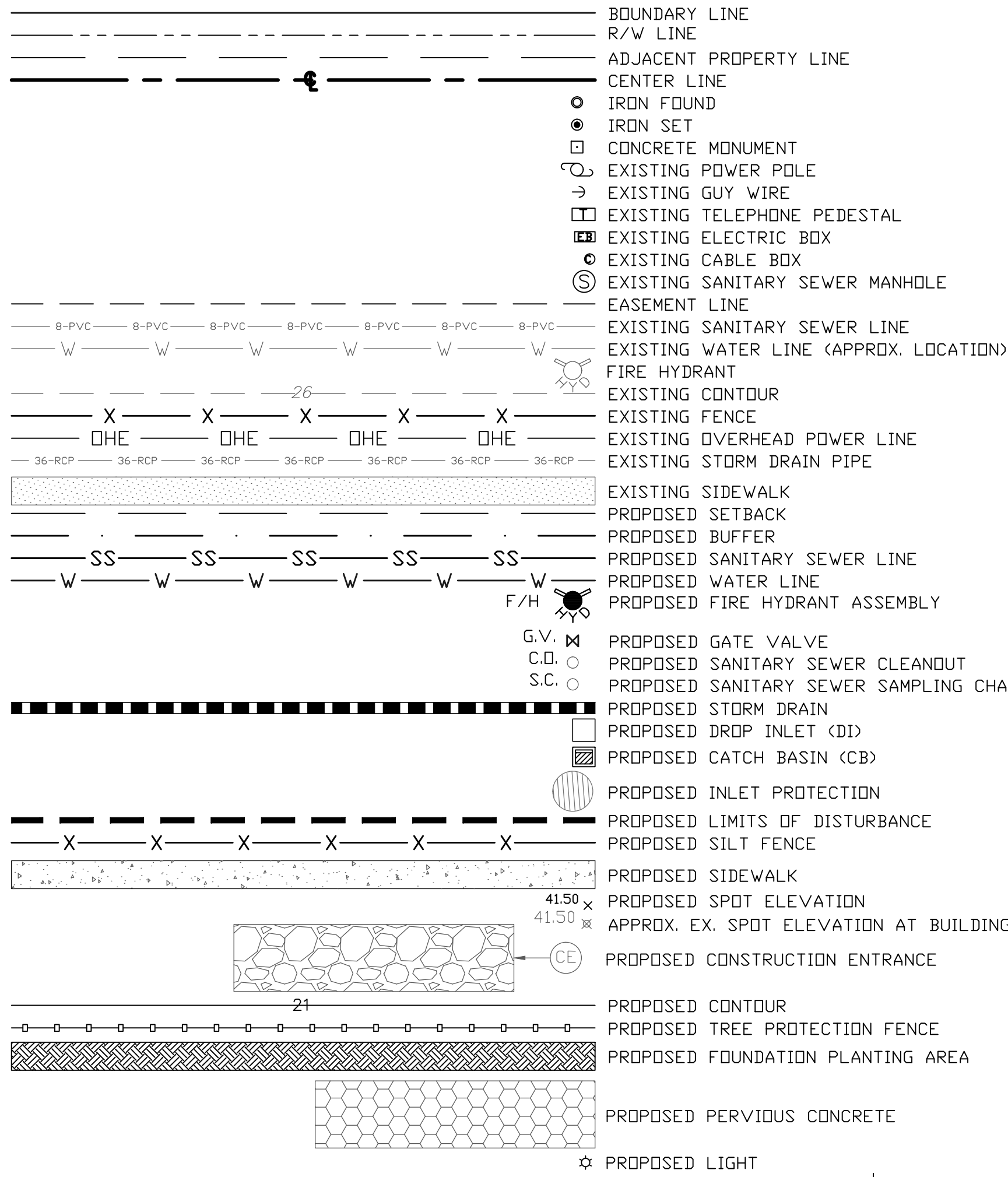
TOTAL BUILDING GROSS FLOOR AREA: 77,298.16 SF  
 TOTAL AMOUNT & PERCENT OF IMPERVIOUS SURFACE AREAS ON-SITE:

BEFORE DEVELOPMENT		AFTER DEVELOPMENT	
BUILDINGS	AREA (SF) % OF SITE	BUILDINGS (INCLUDES ROOF OVERHANG)	PROPOSED (SF) % OF SITE
DRIVEWAY	0 0.00		
OTHER	0 0.00		
TOTAL	0 0.00		
		BUILDINGS (INCLUDES ROOF OVERHANG)	17,508 17.47
		IMPERVIOUS PAVEMENT	45,058 44.98
		PERVIOUS PAVEMENT (NO CREDIT)	3,704 3.70
		SIDEWALK	5,270 5.26
		OTHER	2,312 2.31
		FUTURE	16,117 16.08
		TOTAL	90,169 90.00

**OFF STREET PARKING CALCULATIONS (RESIDENTIAL)**

MINIMUM PARKING REQUIRED = (1 SPACE / 400 SF x 2,568 SF RETAIL) + (1 SPACE / 300 SF x 768 SF OFFICE) + (2 SPACES / UNIT x 5 UNITS) + (2.25 SPACES / UNIT x 40 UNITS) = 109 SPACES  
 MAXIMUM PARKING ALLOWED = (1 SPACE / 200 SF x 2,568 SF RETAIL) + (1 SPACE / 200 SF x 768 SF OFFICE) + (2.5 SPACES / UNIT x 5 UNITS) + (2.5 SPACES / UNIT x 40 UNITS) = 129 SPACES  
 25% ABOVE MAXIMUM PARKING ALLOWED = 125 x 129 = 161 SPACES  
 MIDPOINT BETWEEN MINIMUM REQUIRED PARKING & MAXIMUM PARKING ALLOWED = (109 + 161) / 2 = 135 SPACES  
 (SPACES ABOVE MIDPOINT MUST BE CONSTRUCTED OF PERMEABLE PAVEMENT)  
 NUMBER OF PROPOSED PARKING SPACES = 149 (THE COMMERCIAL PARKING ONLY SPACES ARE CLEARLY DESIGNATED WITH SIGNAGE)  
 NUMBER OF REQUIRED HANDICAP PARKING SPACES (101-150 SPACES) = 5  
 NUMBER OF PROPOSED HANDICAP PARKING SPACES = 6  
 NUMBER OF REQUIRED BICYCLE PARKING SPACES = 15  
 NUMBER OF PROPOSED BICYCLE PARKING SPACES = 32  
 THE TRACT IS NOT WITHIN ANY SPECIAL HIGHWAY OVERLAY DISTRICT OR ANY OTHER ZONING OVERLAY DISTRICT PER THE CITY OF WILMINGTON ZONING MAPS (MAPS 3147-1 & 3148-3, DATED OCTOBER 27, 2015)  
 CAMA LAND USE CLASSIFICATION PER THE 2006 CAMA PLAN UPDATE LAND CLASSIFICATION MAP IS URBAN.

**LEGEND**



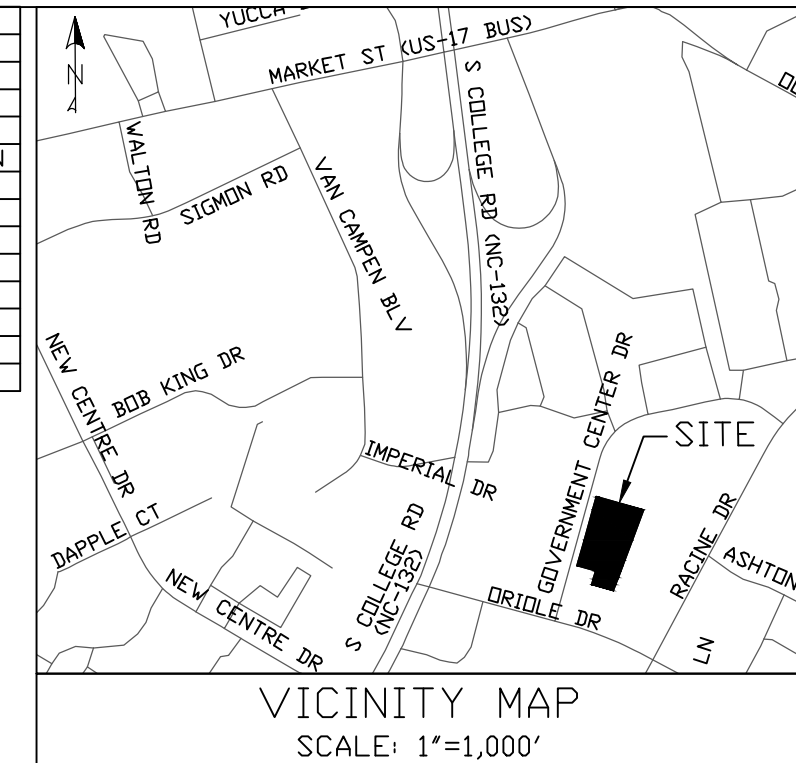
**WATER & SEWER CAPACITY**

EXISTING WATER CAPACITY:	0 GPD
EXISTING SEWER CAPACITY:	0 GPD
PROPOSED WATER CAPACITY:	(45 UNITS x 400 GPD/UNIT) + (50 PEOPLE x 10 GPD/PERSON) + (3,336 SF x 100 GPD / 1,000 SF) = 18,833 GPD
PROPOSED SEWER CAPACITY:	(40 UNITS x 360 GPD/UNIT) + (5 UNITS x 240 GPD/UNIT) + (50 PEOPLE x 10 GPD/PERSON) + (3,336 x 100 GPD / 1,000 SF) = 16,434 GPD

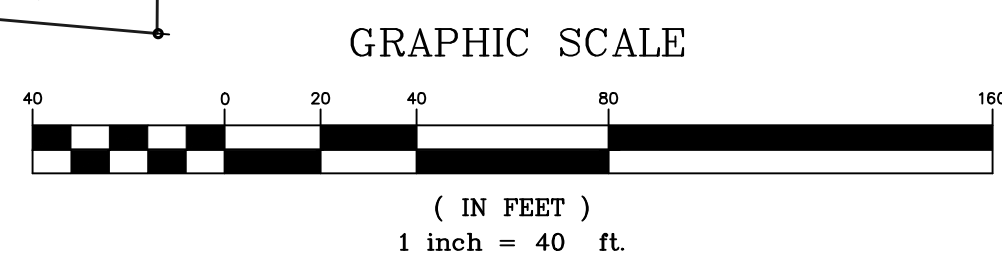
PRELIMINARY PLAT  
 NOT FOR RECORDATION,  
 CONVEYANCES, OR SALES

**SHEET INDEX**

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- NOTES**
- BOUNDARY & TREE SURVEY BY BATEMAN CIVIL SURVEY COMPANY, 406 NORTH THIRD STREET, WILMINGTON, NC 28401, PHONE: 919-577-1080, NCBELS FIRM NO. C-2378. TOPOGRAPHICAL INFORMATION TAKEN FROM NHC GIS.
  - ALL ELEVATIONS ARE IN FEET UNLESS OTHERWISE INDICATED.
  - ALL CITY, STATE, & FEDERAL REGULATIONS SHALL BE FOLLOWED.
  - PRIOR TO INSTALLATION OF WATER OR SANITARY SEWER MAINS, CONTRACTOR SHALL NOTIFY THE ENGINEER WITH MALPASS ENGINEERING & SURVEYING, P.C. AT 910-392-5243.
  - EXISTING SANITARY SEWER MAIN IS PRIVATE.
  - EXISTING WATER MAINS ARE OWNED BY CFPWA.
  - LIMITS OF DISTURBANCE = 97,388 SF = 2.24 ACRES.
  - DISTURBED AREAS WITHIN ADJACENT RIGHT-OF-WAY SHALL BE IMMEDIATELY SEEDED & STABILIZED WITH MULCH, EXCELSDIOR MAT, OR STRAW MAT PRIOR TO ANY RAINFALL EVENT.
  - UPON COMPLETION OF ANY PHASE OF ACTIVITY SIDE SLOPES WILL BE SEEDED/STABILIZED IN ACCORDANCE WITH GRASS STABILIZATION CHART ON SHEET 6.
  - SLOPE ON HANDICAP SPACES SHALL BE 1:50 OR FLATTER.
  - TACTILE WARNING MATS/DOMES SHALL BE INSTALLED ON ALL WHEELCHAIR (HANDICAP) RAMPS.
  - ALL PROPOSED VEGETATION WITHIN THE SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30'-10'.
  - ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
  - ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE CITY OF WILMINGTON LAND DEVELOPMENT CODE & TECHNICAL STANDARDS MANUAL, EXCEPT WHERE EXEMPTED OR VARIANCES ARE OBTAINED.
  - THE PROPOSED CURB IS 4" VERTICAL CURB & GUTTER & 4" MEDIAN VERTICAL CURB & GUTTER (SD 3-11). SEE SITE PLAN ON SHEET 4 FOR CURB & GUTTER LABELING.
  - IT IS THE APPLICANT'S/DEVELOPER'S RESPONSIBILITY TO BE COMPLIANT WITH ALL APPLICABLE ADA REQUIREMENTS.
  - ALL PLANTED & RETAINED LIVING MATERIAL REQUIRED TO MEET THE PROVISIONS OF THE CITY OF WILMINGTON LAND DEVELOPMENT CODE, SHALL BE PERPETUALLY PROTECTED & MAINTAINED TO PROFESSIONALLY ACCEPTED STANDARDS BY JOINT & SEVERAL RESPONSIBILITY OF THE OWNER, OCCUPANT, TENANT, & RESPECTIVE AGENTS OF THE PROPERTY ON WHICH THE MATERIAL IS LOCATED.
  - STORM DRAIN MANHOLES, CATCH BASINS, & DROP INLETS SHALL BE SIZED APPROPRIATELY TO ACCOMMODATE OVERSIZED PIPES AND FRAME & GRATE.
  - ALL DROP INLETS TO HAVE HEAVY DUTY 2'x3' FRAME & GRATE (GENERAL FOUNDRIES INC., ITEM #24364 OR EQUIVALENT).
  - NO PIPE JOINTS SHALL BE INSIDE ANY INTERFERENCE MANHOLE.
  - BUILDING RUNOFF SHALL BE DIRECTED TO DRAIN TO THE STORM DRAIN SYSTEM (USE DOWNSPOUT PIPING AS NECESSARY). DOWNSPOUT PIPING SHALL BE DESIGNED BY OTHERS. ADDITIONAL YARD INLETS MAY BE INSTALLED AT DEVELOPER'S DISCRETION. CONTRACTOR SHALL ENSURE AREAS DRAINING TO DI-2 & CB-4 ARE ABLE TO DRAIN FROM THE RESPECTIVE CURB CUT TO THE INLET. PROVIDE BERM ALONG THE EAST SIDE OF THE INLETS TO DIRECT DRAINAGE TO THE INLETS. TOP OF BERM TO BE 0.5' ABOVE INLET GRADE.
  - A MINIMUM COVER OF 2 FEET FROM TOP OF PIPE TO BOTTOM OF STONE SHALL BE PROVIDED OVER STORM DRAIN PIPE UNDER THE PARKING/DRIVE AISLES UNLESS CLASS IV RCP IS USED.
  - ALL PROPOSED ON-SITE UTILITY LINES SHALL BE UNDERGROUND.
  - LOCATION OF ANY SITE LIGHTS, ELECTRIC LINES, TELEPHONE LINES, AND/OR NATURAL GAS LINES TO BE DETERMINED BY UTILITY COMPANIES AND/OR OTHERS.
  - CONTRACTOR SHALL CONTACT & COORDINATE WITH POWER COMPANY REGARDING RELOCATION OF EXISTING POWER POLE & GUY WIRE AT PROPOSED SOUTHERN DRIVEWAY LOCATION. CONTRACTOR TO CONTACT & COORDINATE WITH UTILITY PROVIDER REGARDING RELOCATION OF EXISTING CABLE BOX AT PROPOSED SOUTHERN DRIVEWAY LOCATION.
  - CONTRACTOR MUST OBTAIN A UTILITY CUT PERMIT FROM THE CITY OF WILMINGTON (ENGINEERING) PRIOR TO OPEN CUTTING GOVERNMENT CENTER DRIVE & SIDEWALK. CONTRACTOR MUST OBTAIN AN UNDERGROUND FIRE LINE PERMIT FROM THE CITY OF WILMINGTON (FIRE & LIFE SAFETY) PRIOR TO INSTALLING THE FIRE LINE.
  - THE 25' VEHICLE OVERHANG AREA SHALL NOT BE PLANTED WITH SHRUBS.
  - 9' WIDE PARKING SPACES ARE SPECIFICALLY DIMENSIONED ON SHEET 4. ALL OTHER PARKING SPACES ARE 8.5' WIDE.
  - THE PROPOSED LIGHTS SHOWN ON THE SITE PLAN ON SHEET 4 ARE CONCEPTUAL. ACTUAL LIGHT DESIGN TO BE DESIGNED BY OTHERS.
  - PROPOSED DOMESTIC WATER SERVICE SHALL BE PUBLIC FROM THE EXISTING WATER MAIN IN GOVERNMENT CENTER DRIVE THROUGH THE WATER METER & PRIVATE AFTER THE WATER METER. PROPOSED FIRE LINE SHALL BE PUBLIC FROM THE EXISTING WATER MAIN IN GOVERNMENT CENTER DRIVE TO THE BACKFLOW PREVENTER & PRIVATE BEGINNING AT THE BACKFLOW PREVENTER.
  - PROPOSED PVC DOMESTIC WATER LINE & FIRE LINES SHALL BE AWWA C900 CLASS 150 (DR-18) UNLESS OTHERWISE INDICATED. PROPOSED DIP DOMESTIC WATER LINES & FIRE LINES SHALL CONFORM TO AWWA C150 PRESSURE CLASS 350.
  - PROPOSED SANITARY SEWER SERVICES SHALL BE PRIVATE.
  - CONTRACTOR TO REPAIR DISTURBED AREAS (ASPHALT, STONE, CURB, SIDEWALK, GRASS PLAZA, ETC.) WITHIN GOVERNMENT CENTER DRIVE TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
  - NO WETLANDS ON SITE PER ECS CAROLINAS, LLP (ALEXANDRA F. PERILLO & W. BRANDON FULTON).
  - SILT SACKS SHALL BE INSTALLED IN DROP INLETS & CATCH BASINS IN THE PARKING LOT WHEN ABC STONE IS INSTALLED IN THE PARKING LOT. SILT SACKS ARE TEMPORARY EROSION CONTROL DEVICES & SHALL BE REMOVED FROM AN INLET ONCE THE ENTIRE AREA DRAINING TO IT IS STABILIZED.
  - RETAINING WALLS SHALL BE DESIGNED BY OTHERS. MALPASS ENGINEERING & SURVEYING, P.C. IS NOT RESPONSIBLE FOR RETAINING WALL DESIGN.



REV. NO.	DESCRIPTION	DATE
1	REVISED PER THE COMMENTS.	6-17-16
2	REVISED TO ADJUST BUILDING.	7-13-16
3	REVISED TO ADJUST/ADD NOTES.	7-19-16

**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

**CITY OF WILMINGTON**  
 NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit #: \_\_\_\_\_

Signed: \_\_\_\_\_

**COVER SHEET**

**GOVERNMENT CENTER APARTMENTS**

WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

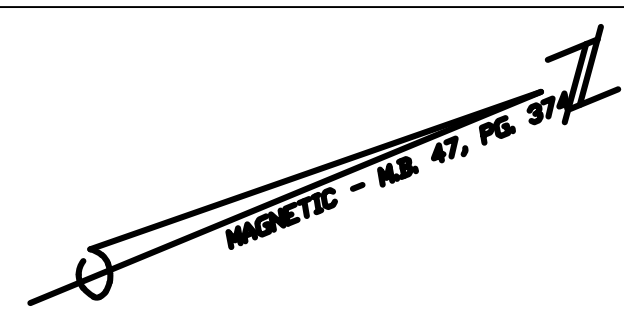
**FINAL DRAWING NOT RELEASED FOR CONSTRUCTION**

MALPASS ENGINEERING & SURVEYING, P.C.  
 1134 SHIPYARD BOULEVARD  
 WILMINGTON, NORTH CAROLINA 28412  
 Phone 910-392-5243  
 Fax 910-392-5203 License No. C-2320

Developer: TRIBUTE INVESTMENT & DEVELOPMENT, INC.  
 55 CAROLINA DRIVE  
 WILMINGTON, NORTH CAROLINA 28403

DATE: 5-16-16  
 SCALE: 1"=40'  
 DRAWN: JCB  
 CHECKED: JEM  
 PROJECT NO: 269  
 SHEET NO: 1  
 OF: 12

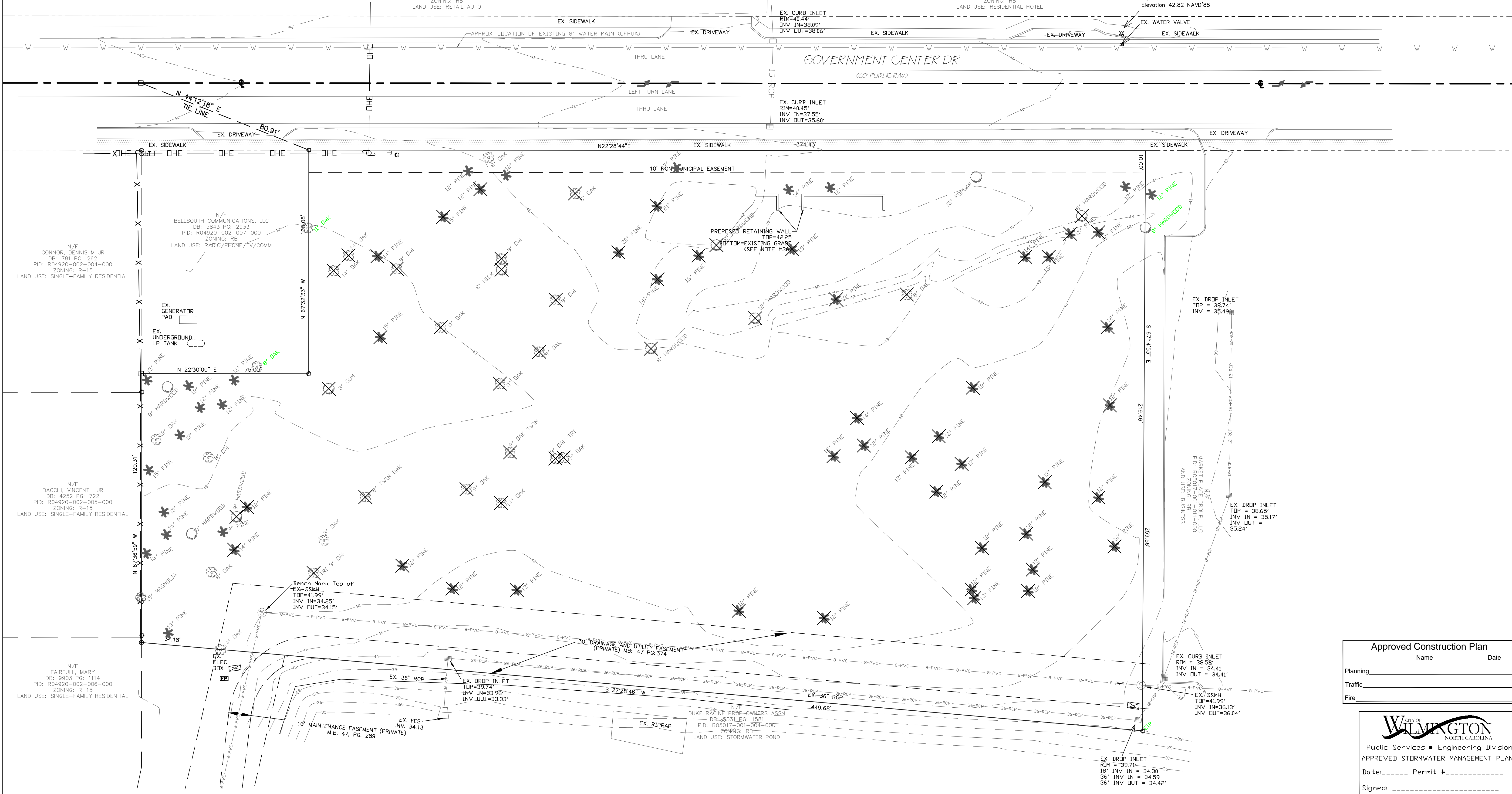




N/F  
GILLILAN PROPERTIES, LLC  
DB: 5581 PG: 1906  
PID: R04920-002-002-000  
ZONING: RB  
LAND USE: RETAIL AUTO

N/F  
SHARDAMAYA, INC.  
DB: 5954 PG: 133  
PID: R04918-003-006-000  
ZONING: RB  
LAND USE: RESIDENTIAL HOTEL

Bench Mark  
Top of EX. FIRE HYDRANT  
Elevation 42.82 NAVD'88



N/F  
CONNOR, DENNIS M JR  
DB: 781 PG: 262  
PID: R04920-002-004-000  
ZONING: R-15  
LAND USE: SINGLE-FAMILY RESIDENTIAL

N/F  
BELLSOUTH COMMUNICATIONS, LLC  
DB: 5843 PG: 2933  
PID: R04920-002-007-000  
ZONING: RB  
LAND USE: RADIO/PHONE/TV/COMM

N/F  
BACCHI, VINCENT I JR  
DB: 4252 PG: 722  
PID: R04920-002-005-000  
ZONING: R-15  
LAND USE: SINGLE-FAMILY RESIDENTIAL

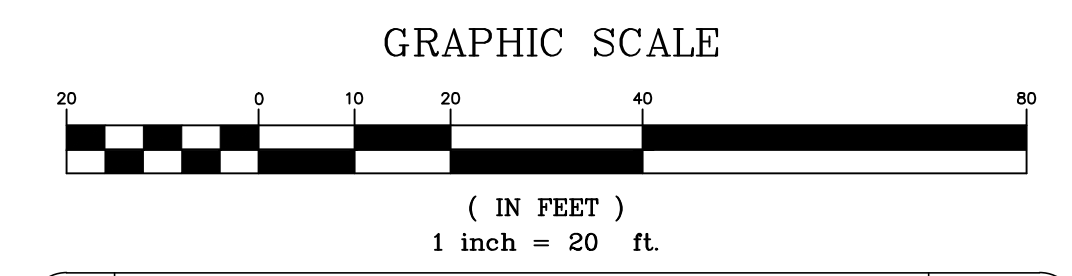
N/F  
FAIRFULL, MARY  
DB: 9903 PG: 1114  
PID: R04920-002-006-000  
ZONING: R-15  
LAND USE: SINGLE-FAMILY RESIDENTIAL

N/F  
DUKE RACINE PROP-OWNERS ASSN  
DB: 36031 PG: 1581  
PID: R05017-001-004-000  
ZONING: TRP  
LAND USE: STORMWATER POND

N/F  
MARKET PLACE GROUP, LLC  
PID: R06071-001-011-000  
LAND USE: BUSINESS

Approved Construction Plan	
Name	Date
Planning	
Traffic	
Fire	

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_



REV. NO.	DESCRIPTION	DATE

PRELIMINARY PLAT  
NOT FOR RECORDATION,  
CONVEYANCES, OR SALES

EXISTING CONDITIONS & DEMOLITION PLAN  
**GOVERNMENT CENTER APARTMENTS**  
WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

**FINAL DRAWING  
NOT RELEASED  
FOR  
CONSTRUCTION**

MALPASS ENGINEERING & SURVEYING, P.C.  
1134 SHIPYARD BOULEVARD  
WILMINGTON, NORTH CAROLINA 28412  
Phone 910-392-5243  
Fax 910-392-5203 License No. C-2320

Developer: TRIBUTE INVESTMENT & DEVELOPMENT, INC.  
10 S. CARDINAL DRIVE  
WILMINGTON, NORTH CAROLINA 28403

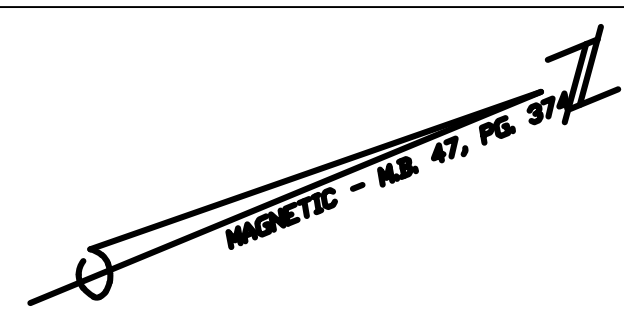
DATE: 7-18-16  
SCALE: 1"=20'  
DRAWN: JCB  
CHECKED: JEM  
PROJECT NO: 269

SHEET NO: 2  
OF: 12





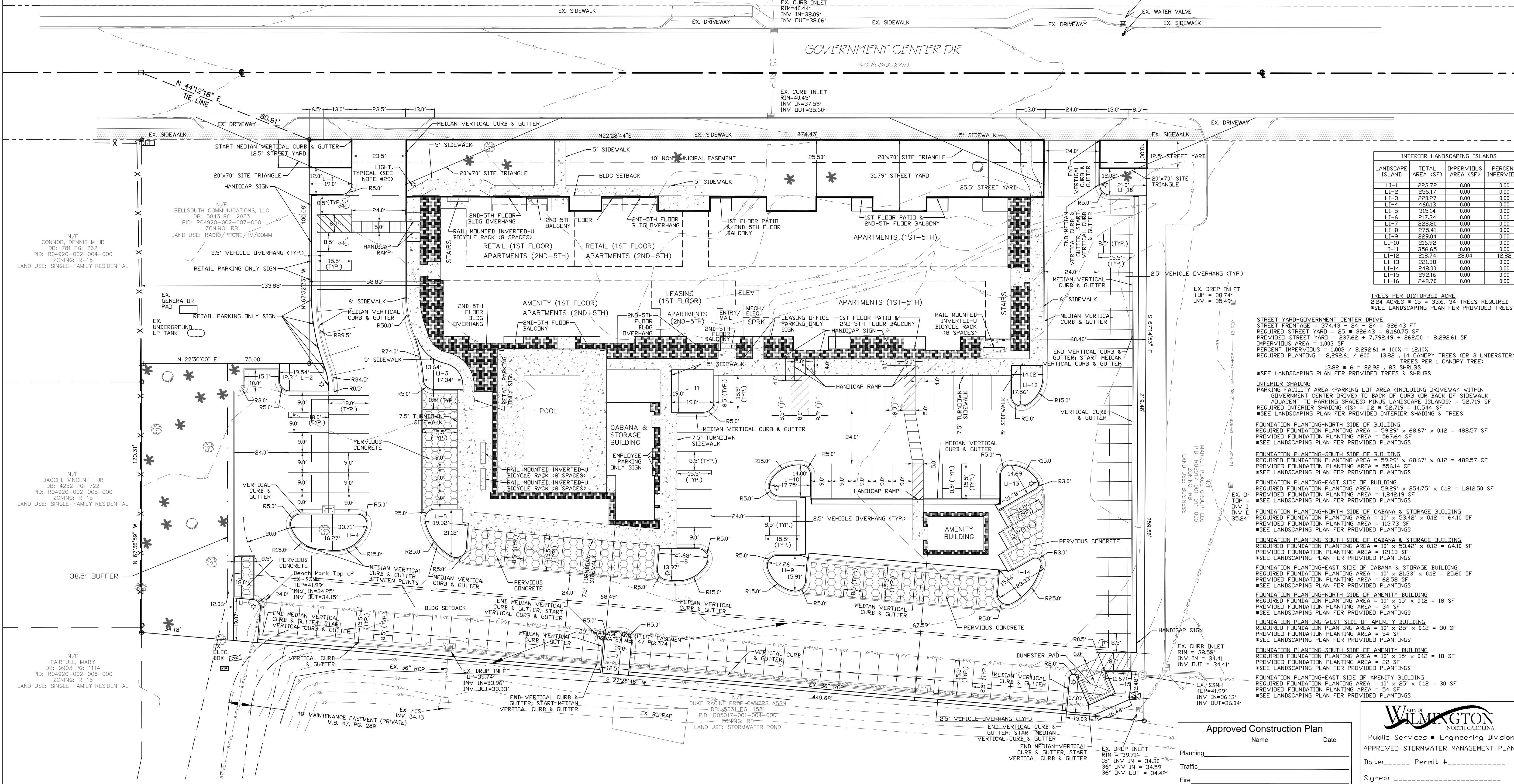




N/F  
GILLIAN PROPERTIES, LLC  
DB: 5581 PG: 1906  
PID: R04920-002-002-000  
ZONING: RB  
LAND USE: RETAIL AUTO

N/F  
SHARDAMAYA, INC.  
DB: 5954 PG: 133  
PID: R04918-003-006-000  
ZONING: RB  
LAND USE: RESIDENTIAL HOTEL

Bench Mark  
Top of EX. FIRE HYDRANT  
Elevation 42.82 NAVD'88



INTERIOR LANDSCAPING ISLANDS			
LANDSCAPE ISLAND	TOTAL AREA (SF)	IMPERVIOUS AREA (SF)	PERCENT IMPERVIOUS
LI-1	223.72	0.00	0.00
LI-2	256.17	0.00	0.00
LI-3	220.27	0.00	0.00
LI-4	460.13	0.00	0.00
LI-5	315.14	0.00	0.00
LI-6	217.34	0.00	0.00
LI-7	228.80	0.00	0.00
LI-8	275.41	0.00	0.00
LI-9	229.04	0.00	0.00
LI-10	216.92	0.00	0.00
LI-11	356.65	0.00	0.00
LI-12	218.74	28.04	12.82
LI-13	221.38	0.00	0.00
LI-14	248.00	0.00	0.00
LI-15	292.16	0.00	0.00
LI-16	248.70	0.00	0.00

TREES PER DISTURBED ACRE  
2.24 ACRES \* 15 = 33.6, 34 TREES REQUIRED  
\*SEE LANDSCAPING PLAN FOR PROVIDED TREES

STREET YARD-GOVERNMENT CENTER DRIVE  
STREET FRONTAGE = 374.43' x 24' = 326.43 SF  
REQUIRED STREET YARD = 25' x 326.43' = 8,160.75 SF  
PROVIDED STREET YARD = 237.62' + 7,792.49' + 262.50' = 8,292.61 SF  
IMPERVIOUS AREA = 1,003 SF  
PERCENT IMPERVIOUS = 1,003 / 8,292.61 \* 100% = 12.10%  
REQUIRED PLANTING = 8,292.61 / 600 = 13.82, 14 CANOPY TREES (OR 3 UNDERSTORY TREES PER 1 CANOPY TREE)  
13.82 \* 6 = 82.92, 83 SHRUBS  
\*SEE LANDSCAPING PLAN FOR PROVIDED TREES & SHRUBS

INTERIOR SHADING  
PARKING FACILITY AREA (PARKING LOT AREA INCLUDING DRIVEWAY WITHIN GOVERNMENT CENTER DRIVE) TO BACK OF CURB OR BACK OF SIDEWALK ADJACENT TO PARKING SPACES) MINUS LANDSCAPE ISLANDS) = 52,719 SF  
REQUIRED INTERIOR SHADING (IS) = 0.2 \* 52,719 = 10,544 SF  
\*SEE LANDSCAPING PLAN FOR PROVIDED INTERIOR SHADING & TREES

FOUNDATION PLANTING-NORTH SIDE OF BUILDING  
REQUIRED FOUNDATION PLANTING AREA = 59.29' x 68.67' x 0.12 = 488.57 SF  
PROVIDED FOUNDATION PLANTING AREA = 567.64 SF  
\*SEE LANDSCAPING PLAN FOR PROVIDED PLANTINGS

FOUNDATION PLANTING-SOUTH SIDE OF BUILDING  
REQUIRED FOUNDATION PLANTING AREA = 59.29' x 68.67' x 0.12 = 488.57 SF  
PROVIDED FOUNDATION PLANTING AREA = 556.14 SF  
\*SEE LANDSCAPING PLAN FOR PROVIDED PLANTINGS

FOUNDATION PLANTING-EAST SIDE OF BUILDING  
REQUIRED FOUNDATION PLANTING AREA = 59.29' x 254.75' x 0.12 = 1,812.50 SF  
PROVIDED FOUNDATION PLANTING AREA = 1,842.19 SF  
\*SEE LANDSCAPING PLAN FOR PROVIDED PLANTINGS

FOUNDATION PLANTING-NORTH SIDE OF CABANA & STORAGE BUILDING  
REQUIRED FOUNDATION PLANTING AREA = 10' x 53.42' x 0.12 = 64.10 SF  
PROVIDED FOUNDATION PLANTING AREA = 113.73 SF  
\*SEE LANDSCAPING PLAN FOR PROVIDED PLANTINGS

FOUNDATION PLANTING-SOUTH SIDE OF CABANA & STORAGE BUILDING  
REQUIRED FOUNDATION PLANTING AREA = 10' x 53.42' x 0.12 = 64.10 SF  
PROVIDED FOUNDATION PLANTING AREA = 121.13 SF  
\*SEE LANDSCAPING PLAN FOR PROVIDED PLANTINGS

FOUNDATION PLANTING-EAST SIDE OF CABANA & STORAGE BUILDING  
REQUIRED FOUNDATION PLANTING AREA = 10' x 21.33' x 0.12 = 25.60 SF  
PROVIDED FOUNDATION PLANTING AREA = 62.59 SF  
\*SEE LANDSCAPING PLAN FOR PROVIDED PLANTINGS

FOUNDATION PLANTING-NORTH SIDE OF AMENITY BUILDING  
REQUIRED FOUNDATION PLANTING AREA = 10' x 15' x 0.12 = 18 SF  
PROVIDED FOUNDATION PLANTING AREA = 34 SF  
\*SEE LANDSCAPING PLAN FOR PROVIDED PLANTINGS

FOUNDATION PLANTING-WEST SIDE OF AMENITY BUILDING  
REQUIRED FOUNDATION PLANTING AREA = 10' x 25' x 0.12 = 30 SF  
PROVIDED FOUNDATION PLANTING AREA = 54 SF  
\*SEE LANDSCAPING PLAN FOR PROVIDED PLANTINGS

FOUNDATION PLANTING-SOUTH SIDE OF AMENITY BUILDING  
REQUIRED FOUNDATION PLANTING AREA = 10' x 15' x 0.12 = 18 SF  
PROVIDED FOUNDATION PLANTING AREA = 22 SF  
\*SEE LANDSCAPING PLAN FOR PROVIDED PLANTINGS

FOUNDATION PLANTING-EAST SIDE OF AMENITY BUILDING  
REQUIRED FOUNDATION PLANTING AREA = 10' x 25' x 0.12 = 30 SF  
PROVIDED FOUNDATION PLANTING AREA = 54 SF  
\*SEE LANDSCAPING PLAN FOR PROVIDED PLANTINGS

N/F  
CONNOR, DENNIS M JR  
DB: 781 PG: 262  
PID: R04920-002-004-000  
ZONING: R-15  
LAND USE: SINGLE-FAMILY RESIDENTIAL

N/F  
BACCHI, VINCENT I JR  
DB: 4252 PG: 722  
PID: R04920-002-005-000  
ZONING: R-15  
LAND USE: SINGLE-FAMILY RESIDENTIAL

N/F  
FAIRFULL, MARY  
DB: 9903 PG: 1114  
PID: R04920-002-006-000  
ZONING: R-15  
LAND USE: SINGLE-FAMILY RESIDENTIAL

N/F  
DUKE RACINE PROP-OWNERS ASSN  
DB: 36031 PG: 1581  
PID: R05017-001-004-000  
ZONING: TRP  
LAND USE: STORMWATER POND

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN  
Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
Signed: \_\_\_\_\_

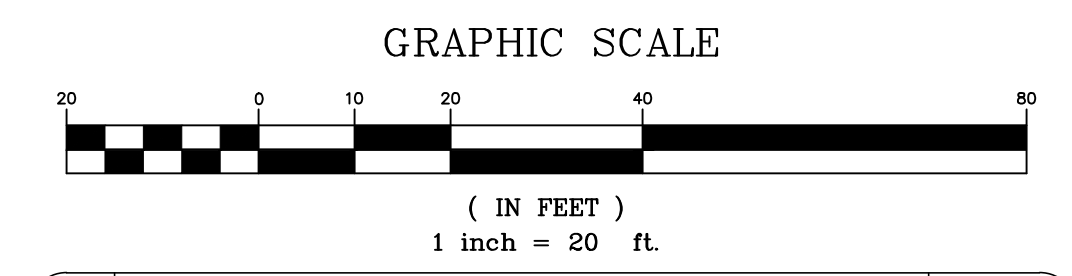
**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_



REV. NO.	DESCRIPTION	DATE

PRELIMINARY PLAT  
NOT FOR RECORDATION,  
CONVEYANCES, OR SALES

**SITE PLAN**  
**GOVERNMENT CENTER APARTMENTS**

WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

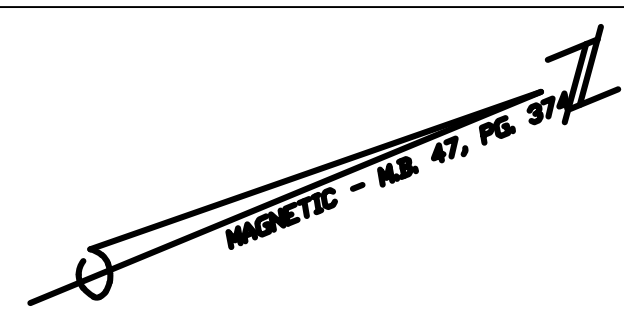
**FINAL DRAWING NOT RELEASED FOR CONSTRUCTION**

MALPASS ENGINEERING & SURVEYING, P.C.  
1134 SHIPYARD BOULEVARD  
WILMINGTON, NORTH CAROLINA 28412  
Phone 910-392-6243  
Fax 910-392-5203 License No. C-2320

Developer: TRIBUTE INVESTMENT & DEVELOPMENT, INC.  
10 S. CARDINAL DRIVE  
WILMINGTON, NORTH CAROLINA 28403

CHECKED: JEM  
PROJECT NO: 269  
SHEET NO: 4  
OF: 12

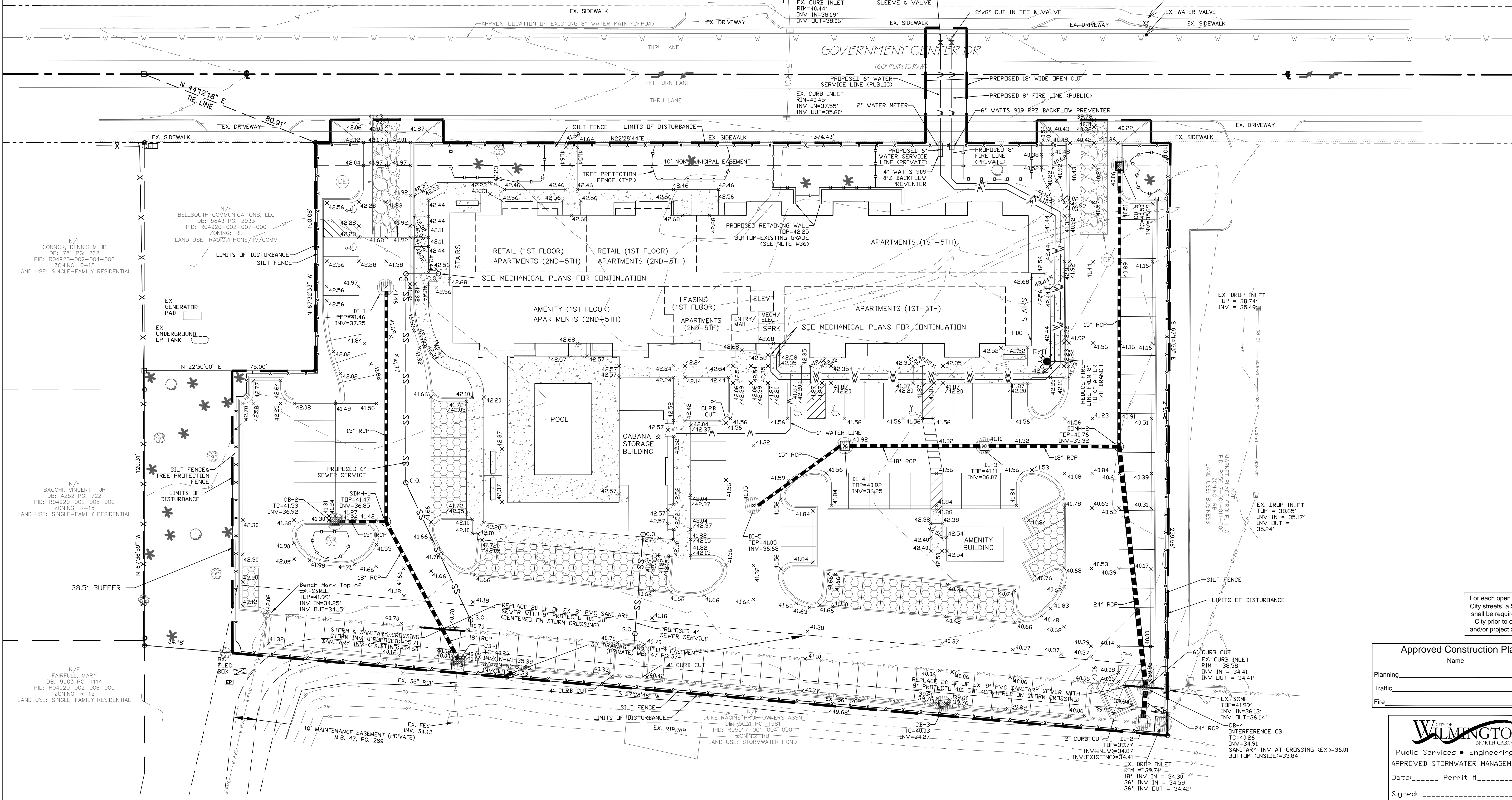




N/F  
GILLIAN PROPERTIES, LLC  
DB: 5581 PG: 1906  
PID: R04920-002-002-000  
ZONING: RB  
LAND USE: RETAIL AUTO

N/F  
SHARDAMAYA, INC.  
DB: 5954 PG: 133  
PID: R04916-003-006-000  
ZONING: RB  
LAND USE: RESIDENTIAL HOTEL

Bench Mark  
Top of EX. FIRE HYDRANT  
Elevation 42.82 NAVD'88



N/F  
CONNOR, DENNIS M JR  
DB: 781 PG: 262  
PID: R04920-002-004-000  
ZONING: R-15  
LAND USE: SINGLE-FAMILY RESIDENTIAL

N/F  
BELLSOUTH COMMUNICATIONS, LLC  
DB: 5843 PG: 2933  
PID: R04920-002-007-000  
ZONING: RB  
LAND USE: RADIO/PHONE/TV/COMM

N/F  
BACCHI, VINCENT I JR  
DB: 4252 PG: 722  
PID: R04920-002-005-000  
ZONING: R-15  
LAND USE: SINGLE-FAMILY RESIDENTIAL

N/F  
FAIRFULL, MARY  
DB: 9903 PG: 1114  
PID: R04920-002-006-000  
ZONING: R-15  
LAND USE: SINGLE-FAMILY RESIDENTIAL

N/F  
DUKE RACINE PROP-OWNERS ASSN  
DB: 36031 PG: 1581  
PID: R05017-001-004-000  
ZONING: TR-3  
LAND USE: STORMWATER POND

N/F  
MARKET PLACE GROUP, LLC  
PID: R06071-001-011-000  
LAND USE: BUSINESS

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**Approved Construction Plan**

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

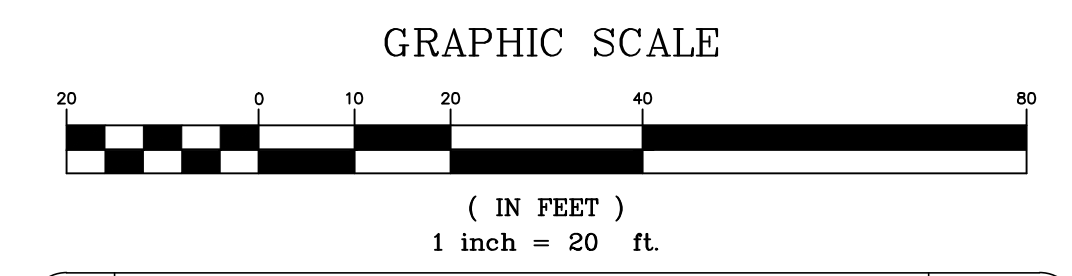
Fire \_\_\_\_\_

**CITY OF WILMINGTON**  
NORTH CAROLINA

Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_



REV. NO.	DESCRIPTION	DATE
1	REVISED TO ADJUST BUILDING	7-13-16
2	REVISED TO ADJUST/ADD UTILITY SERVICES	7-19-16

EROSION CONTROL, STORMWATER, & UTILITY PLAN

**GOVERNMENT CENTER APARTMENTS**

WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

**FINAL DRAWING NOT RELEASED FOR CONSTRUCTION**

MALPASS ENGINEERING & SURVEYING, P.C.  
1134 SHIPYARD BOULEVARD  
WILMINGTON, NORTH CAROLINA 28412  
Phone 910-392-6243 License No. C-2320  
Fax 910-392-5203

Developer: TRIBUTE INVESTMENT & DEVELOPMENT, INC.  
10 S. CARDINAL DRIVE  
WILMINGTON, NORTH CAROLINA 28403

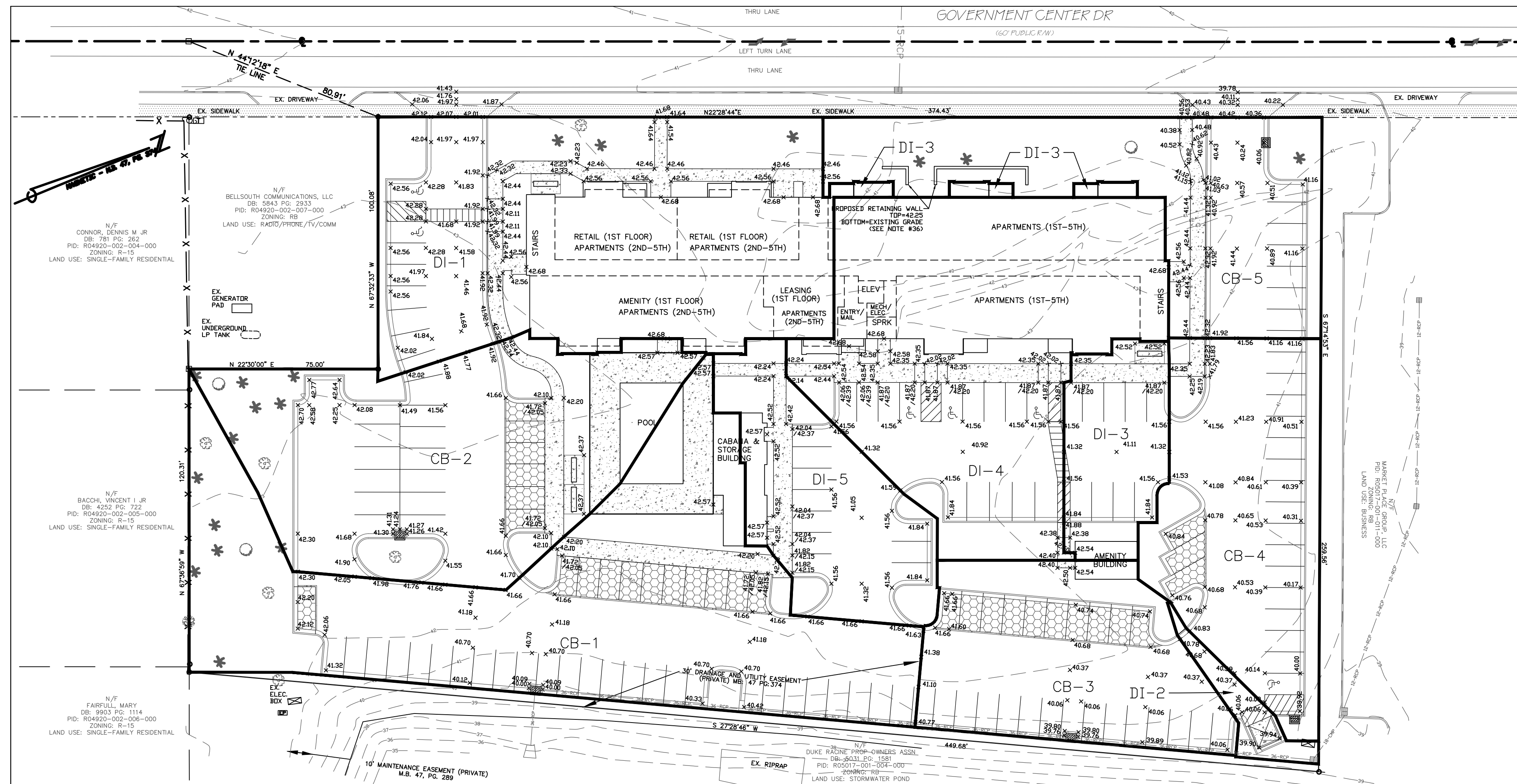
CHECKED: JEM  
PROJECT NO: 269  
SHEET NO: 5  
OF: 12

PRELIMINARY PLAT  
NOT FOR RECORDATION,  
CONVEYANCES, OR SALES







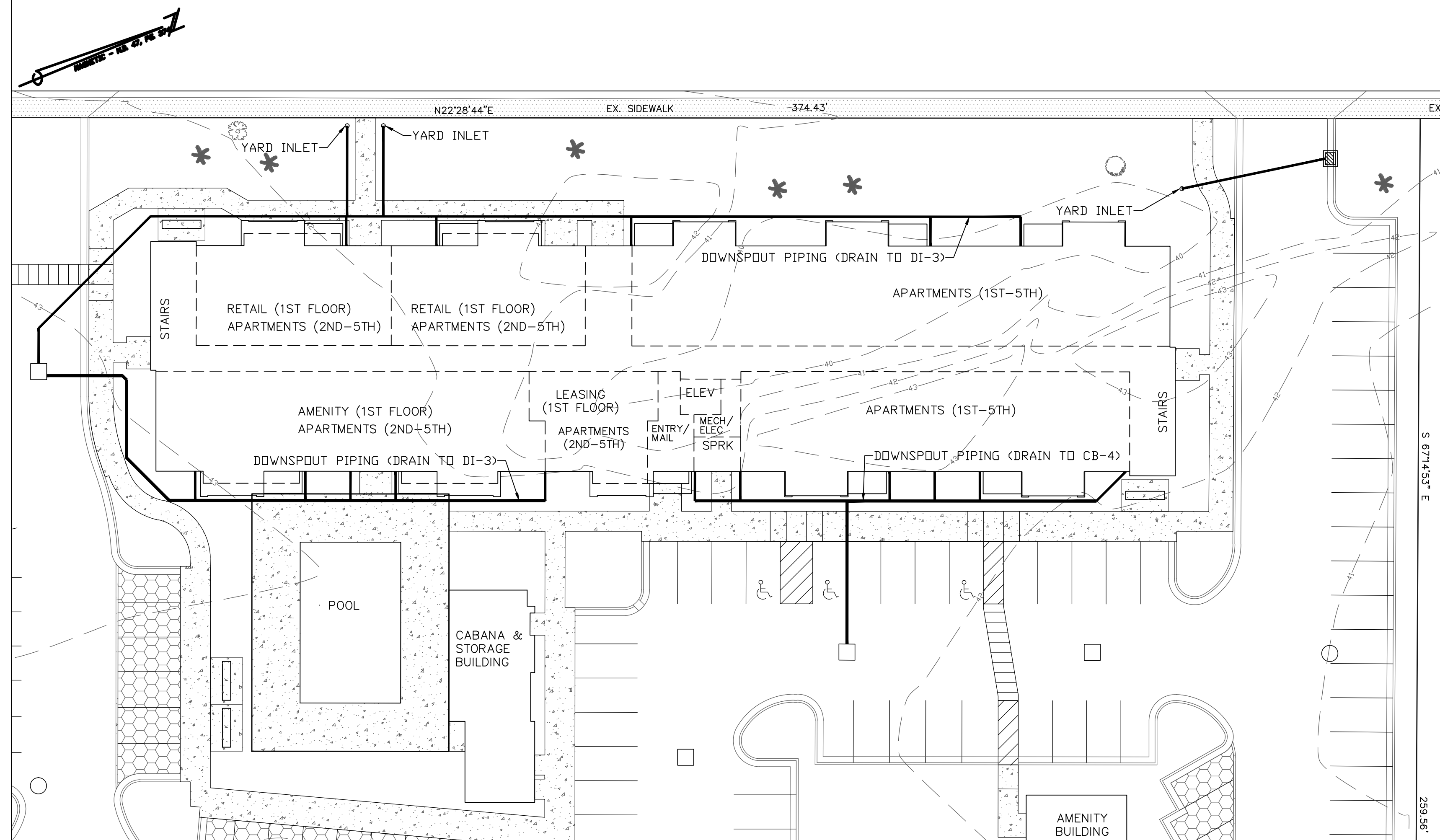


DRAINAGE AREA MAP-INLETS  
SCALE: 1" = 30'

INLET	DRAINAGE AREA (ACRES)
CB-1	0.43
CB-2	0.31
CB-3	0.18
CB-4	0.20
CB-5	0.22
DI-1	0.39
DI-2	0.02
DI-3	0.08
DI-4	0.34
DI-5	0.14

PIPE TABLE - SYSTEM #1						
FROM	TO	SIZE (IN)	LENGTH (FT)	SLOPE (%)	D.S. INVERT	U.S. INVERT
CB-1	PDND	36	26	-3.077	34.13	33.33
SDMH-1	CB-1	18	69	2.116	35.39	36.85
CB-2	SDMH-1	15	21	0.333	36.85	36.92
DI-1	SDMH-1	15	101	0.495	36.85	37.35
CB-3	CB-1	36	211	0.147	33.96	34.27
DI-2	CB-3	36	85	0.165	34.27	34.41
CB-4	DI-2	24	12	0.333	34.87	34.91
SDMH-2	CB-4	24	106	0.387	34.91	35.32
DI-3	SDMH-2	18	38	1.293	35.32	36.07
DI-4	DI-3	18	57	0.316	36.07	36.25
DI-5	DI-4	15	45	0.956	36.25	36.68
CB-5	SDMH-2	15	122	0.303	35.32	35.69

◆=EXISTING RUN OF PIPE



DOWNSPOUT & YARD INLET PIPING LOCATION MAP  
SCALE: 1" = 20'

PRELIMINARY PLAT  
NOT FOR RECORDATION,  
CONVEYANCES, OR SALES

Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

**CITY OF WILMINGTON**  
NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

GRAPHIC SCALE

( IN FEET )  
1 inch = 30 ft.

REV. NO.	DESCRIPTION	DATE
1	REVISED TO ADJUST BUILDING	7-13-16
2	REVISED TO ADD PIPE CHART	7-19-16

DRAINAGE AREA MAP  
**GOVERNMENT CENTER APARTMENTS**  
WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

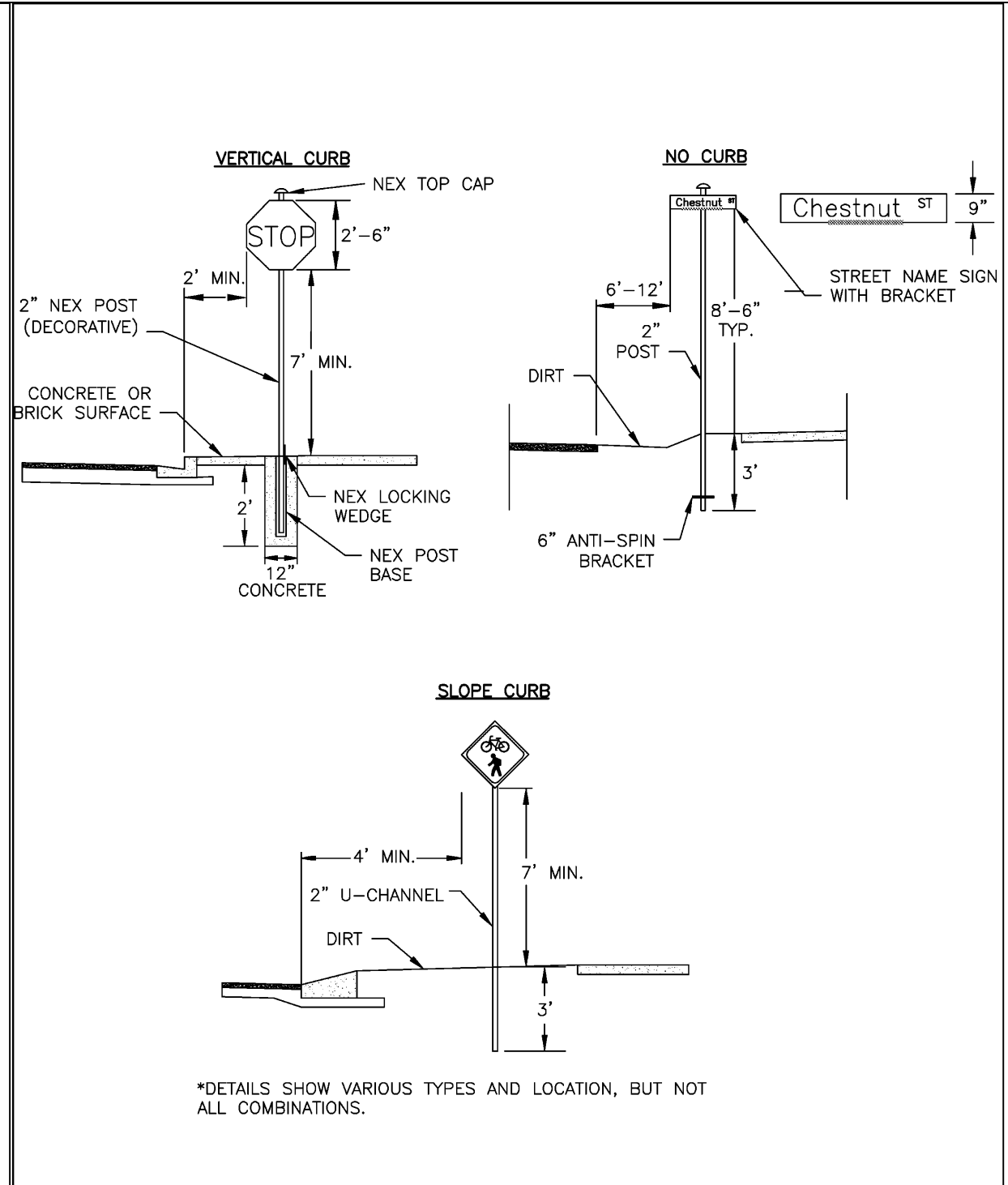
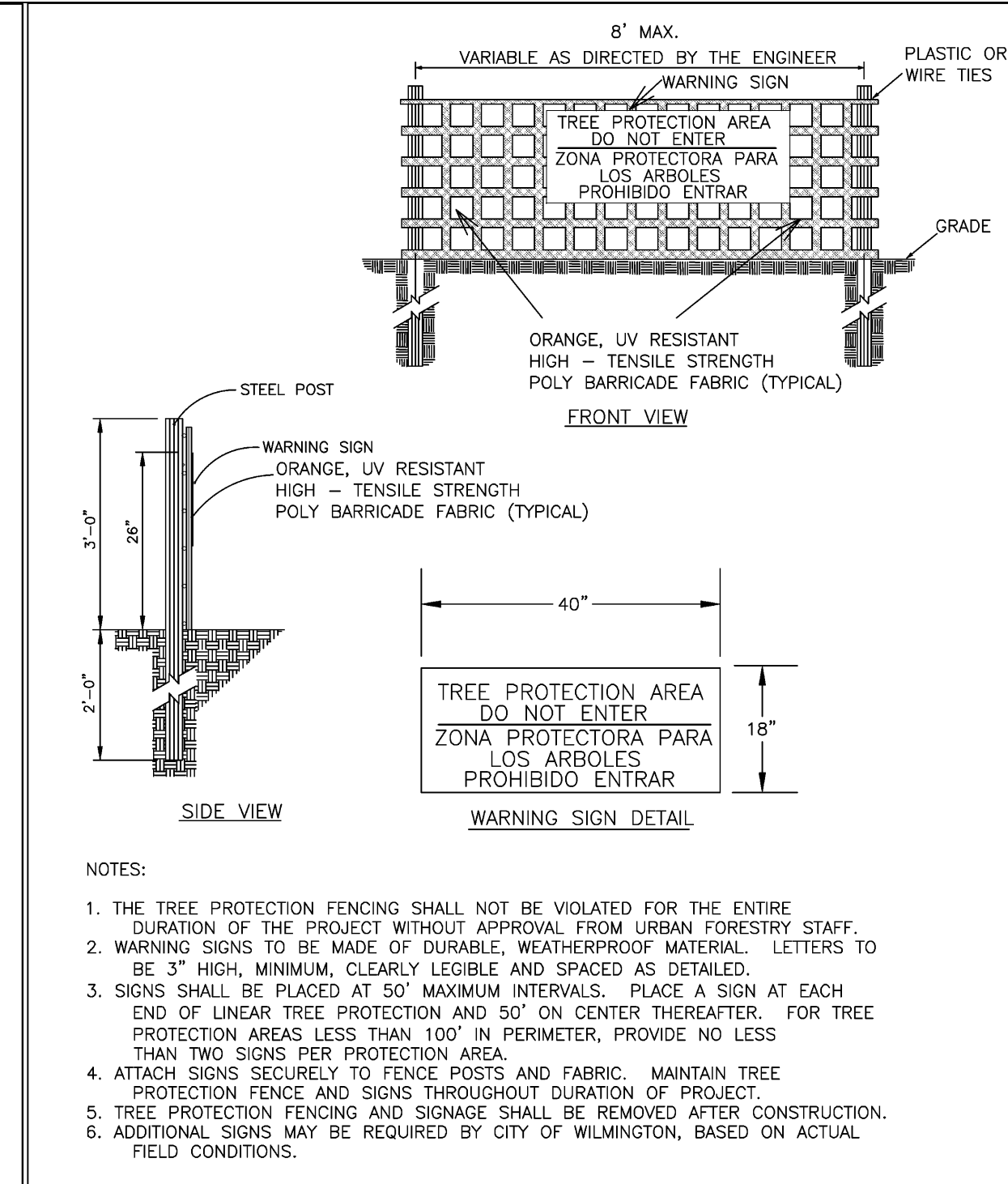
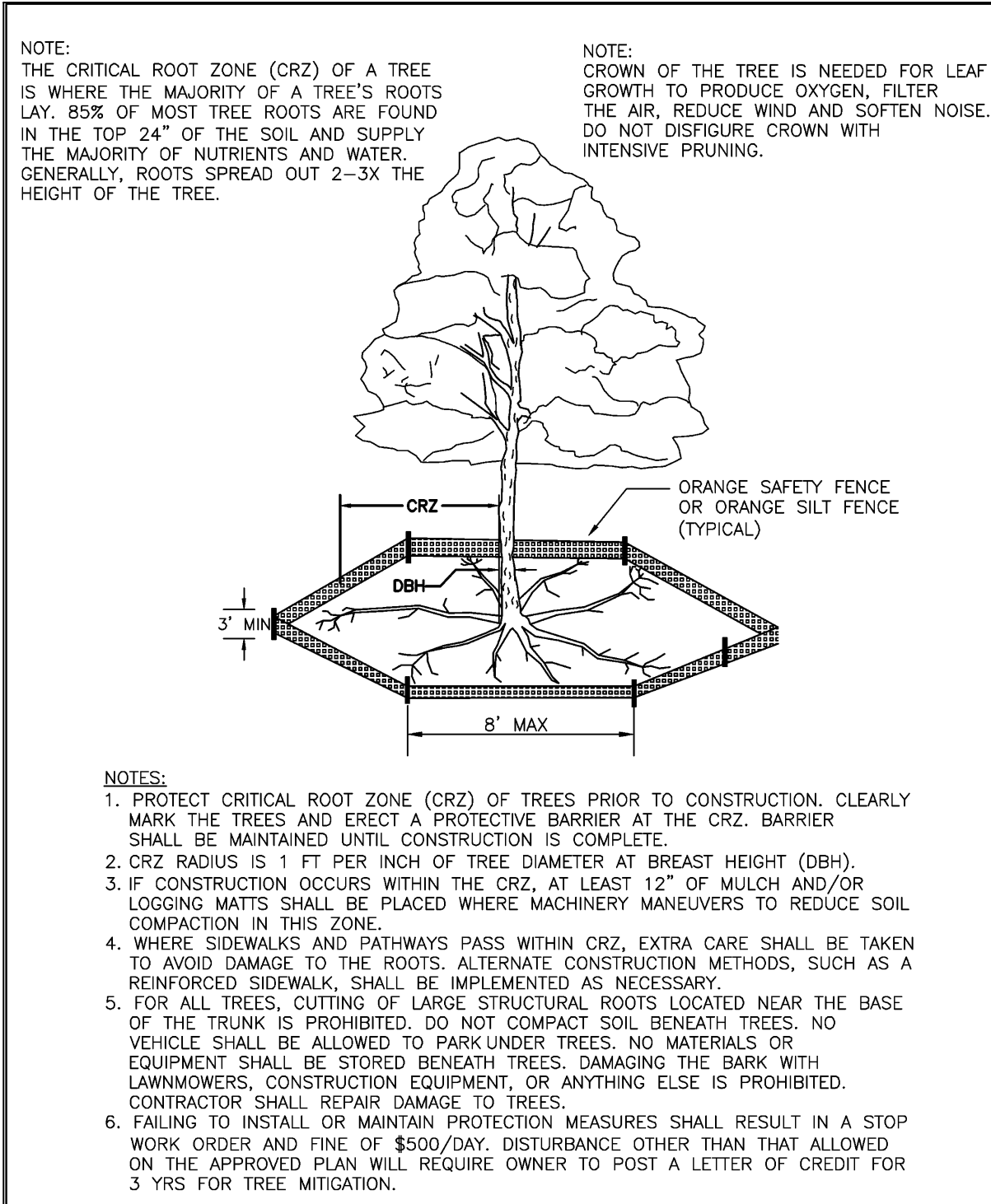
**FINAL DRAWING NOT RELEASED FOR CONSTRUCTION**

MALPASS ENGINEERING & SURVEYING, P.C.  
1134 SHIPYARD BOULEVARD  
WILMINGTON, NORTH CAROLINA 28412  
Phone 910-392-5243 Fax 910-392-5203 License No. C-2320

Developer: TRIBUTE INVESTMENT & DEVELOPMENT, INC.  
10 S. CARDINAL DRIVE  
WILMINGTON, NORTH CAROLINA 28403

DATE: 6-17-16  
SCALE: 1" = 30'  
DRAWN: JCB  
CHECKED: JEM  
PROJECT NO: 269  
SHEET NO: 7  
OF: 12

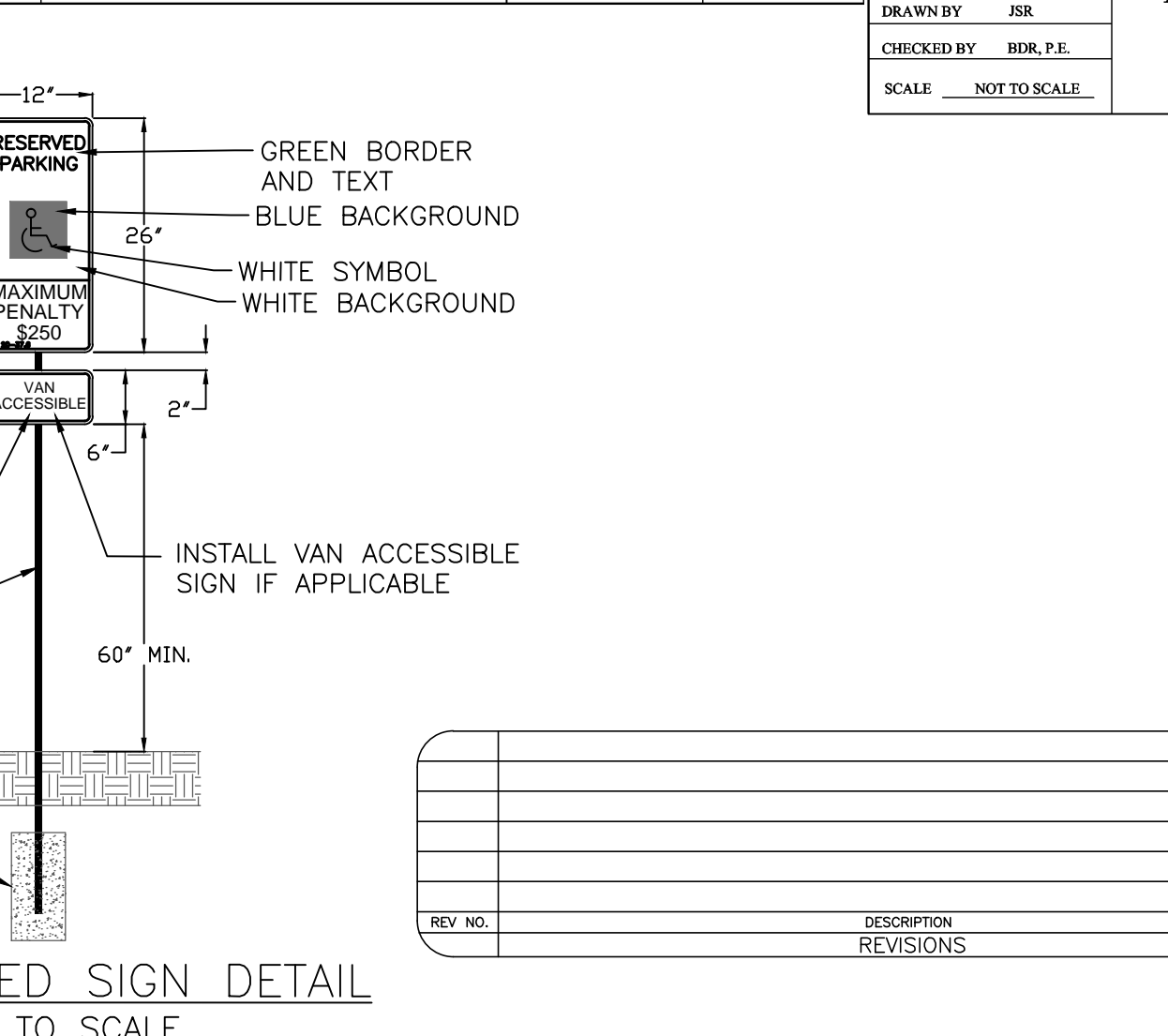
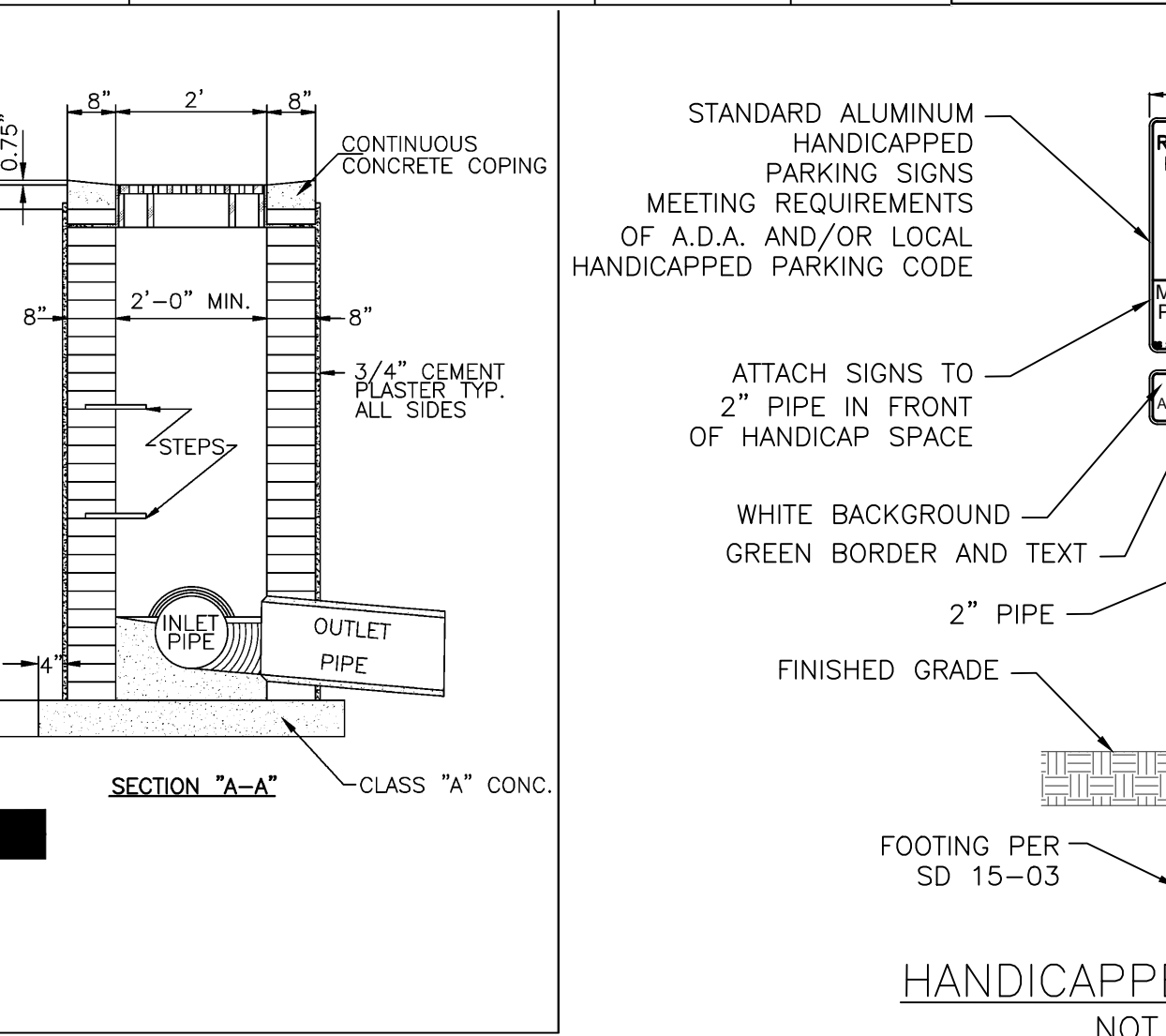
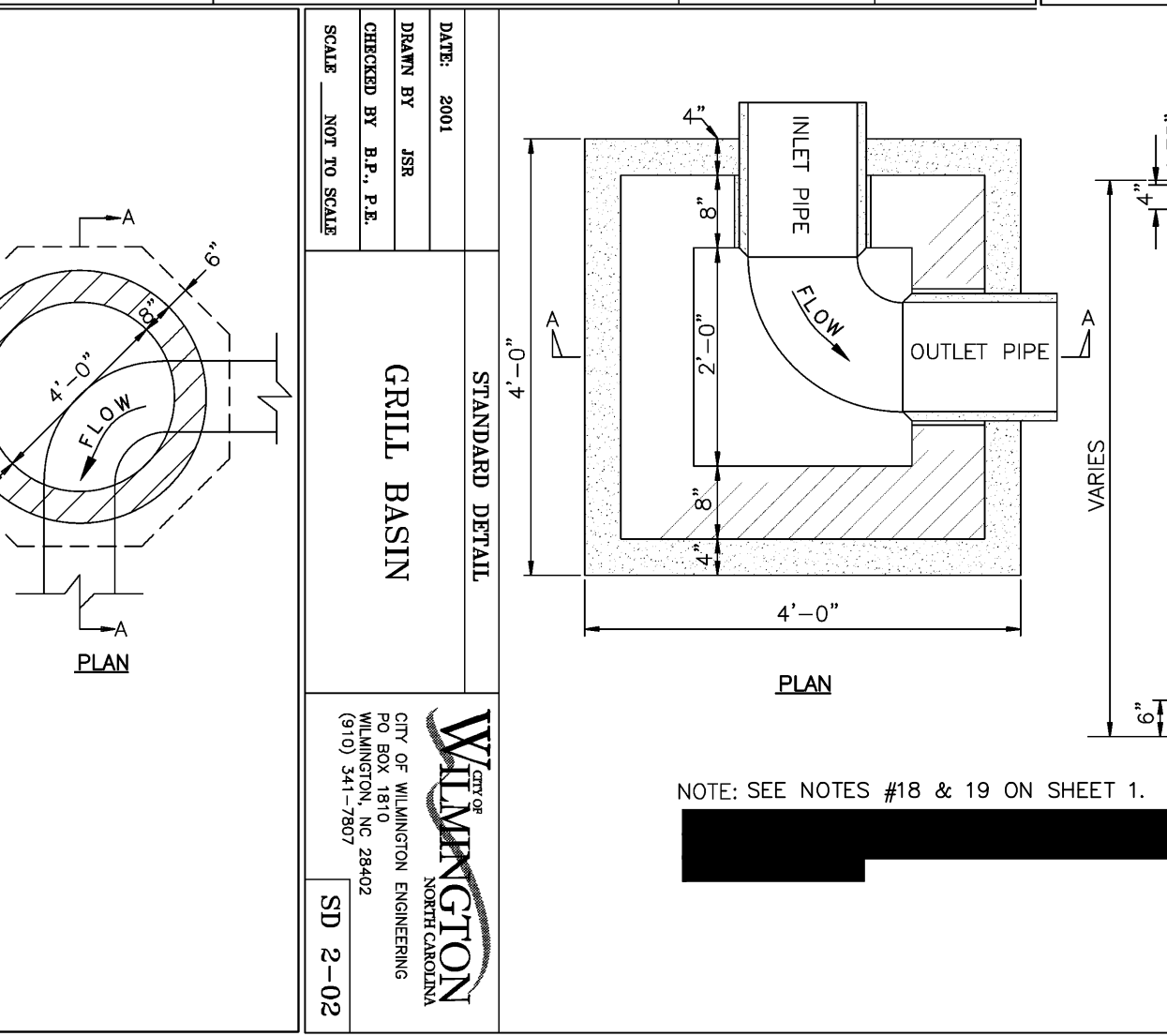
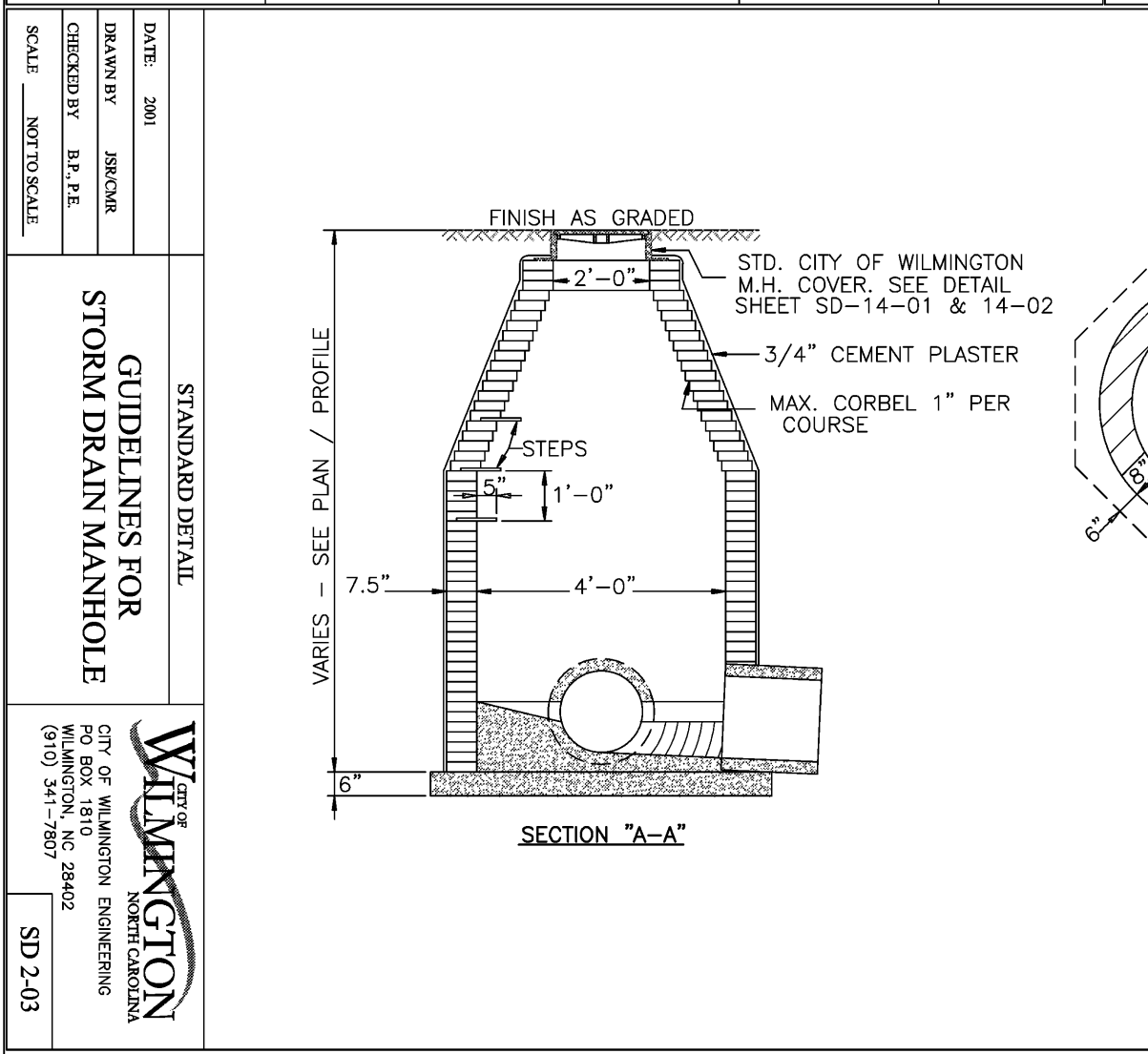
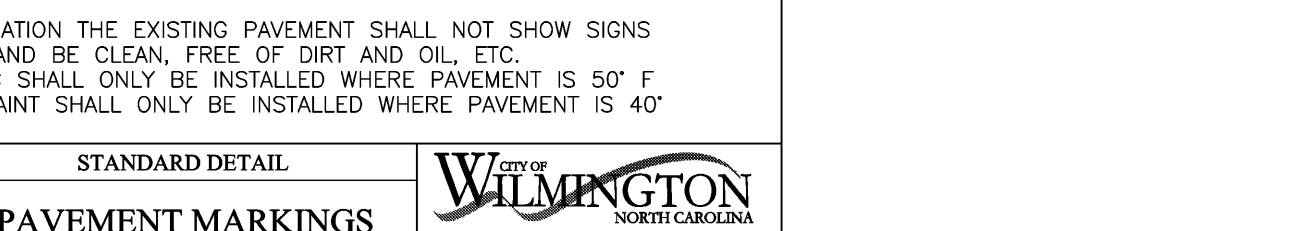
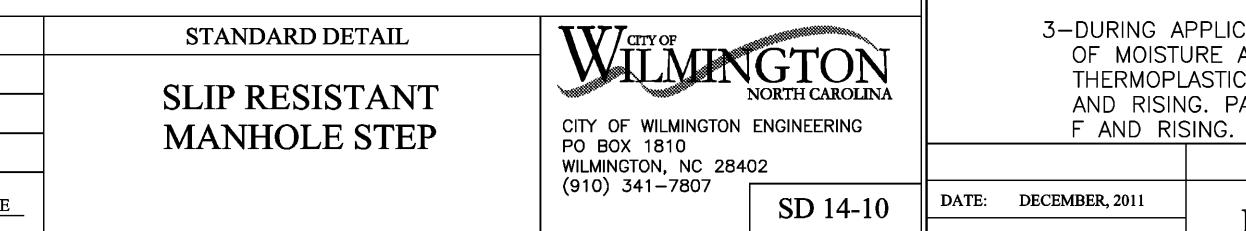
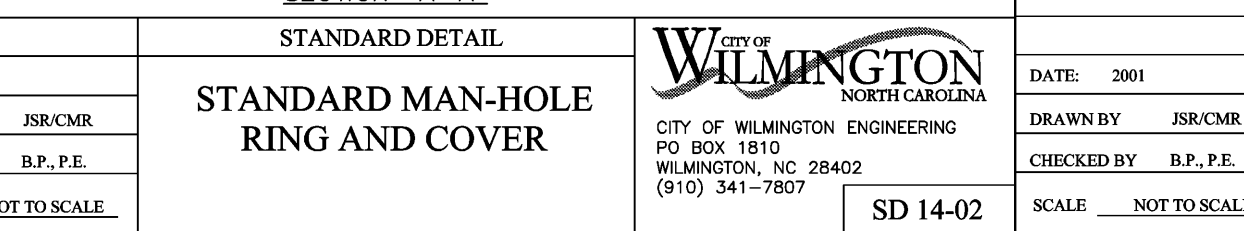
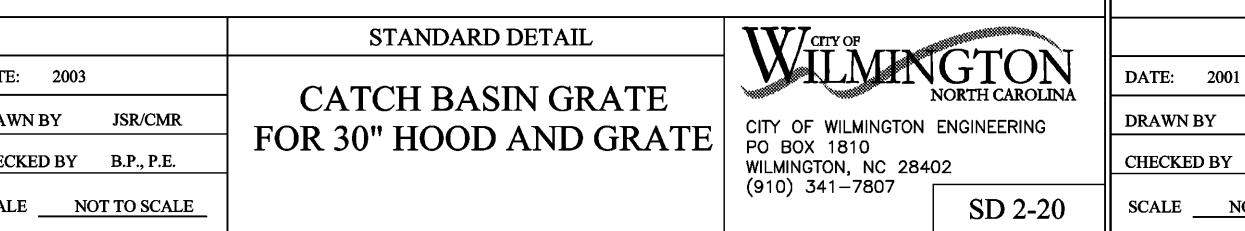
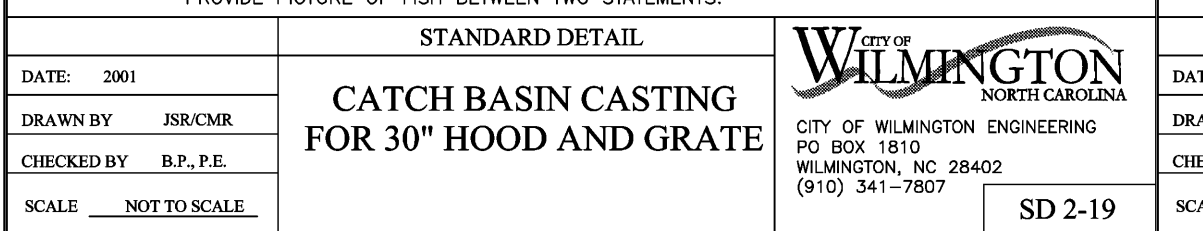
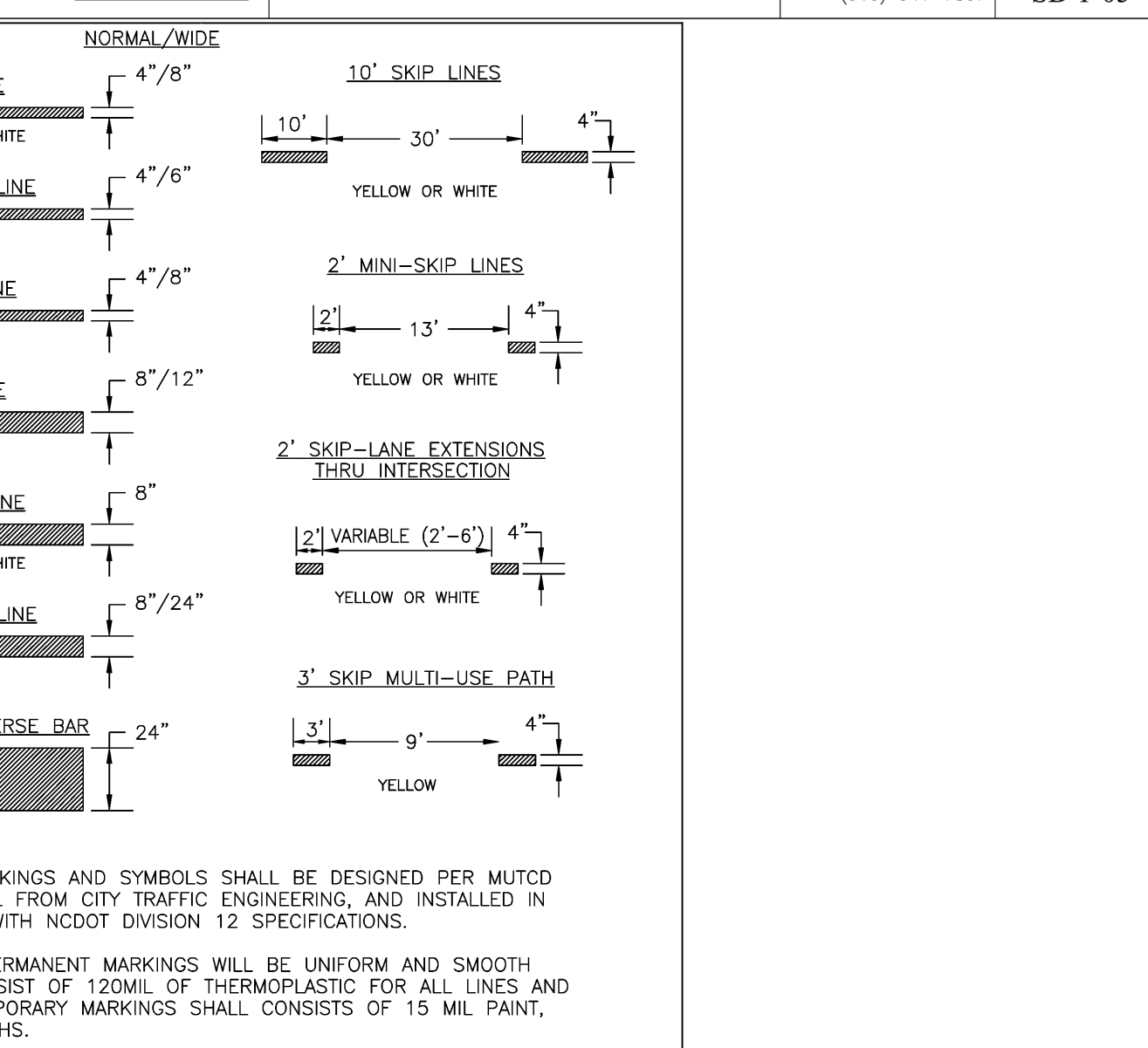
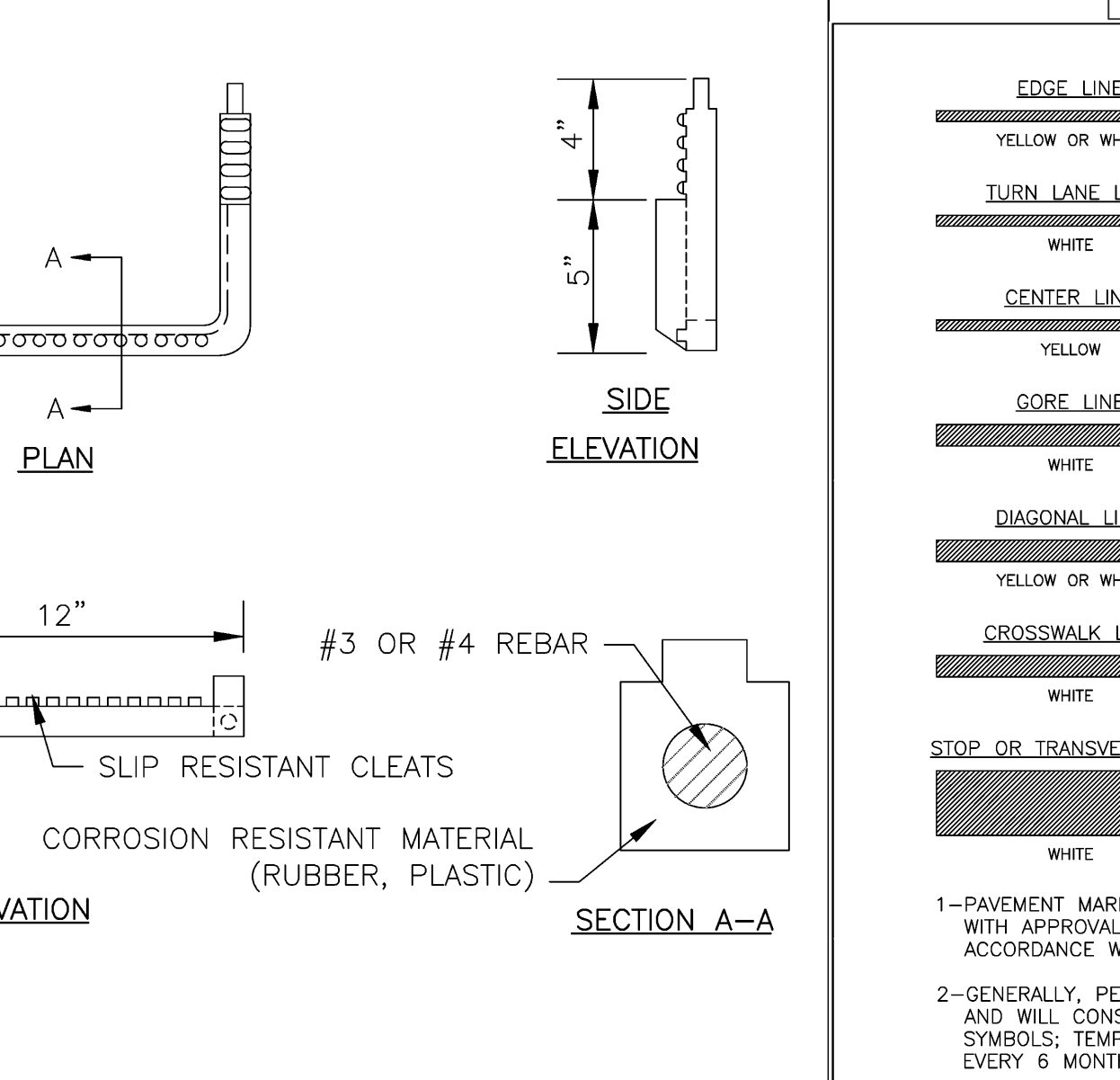
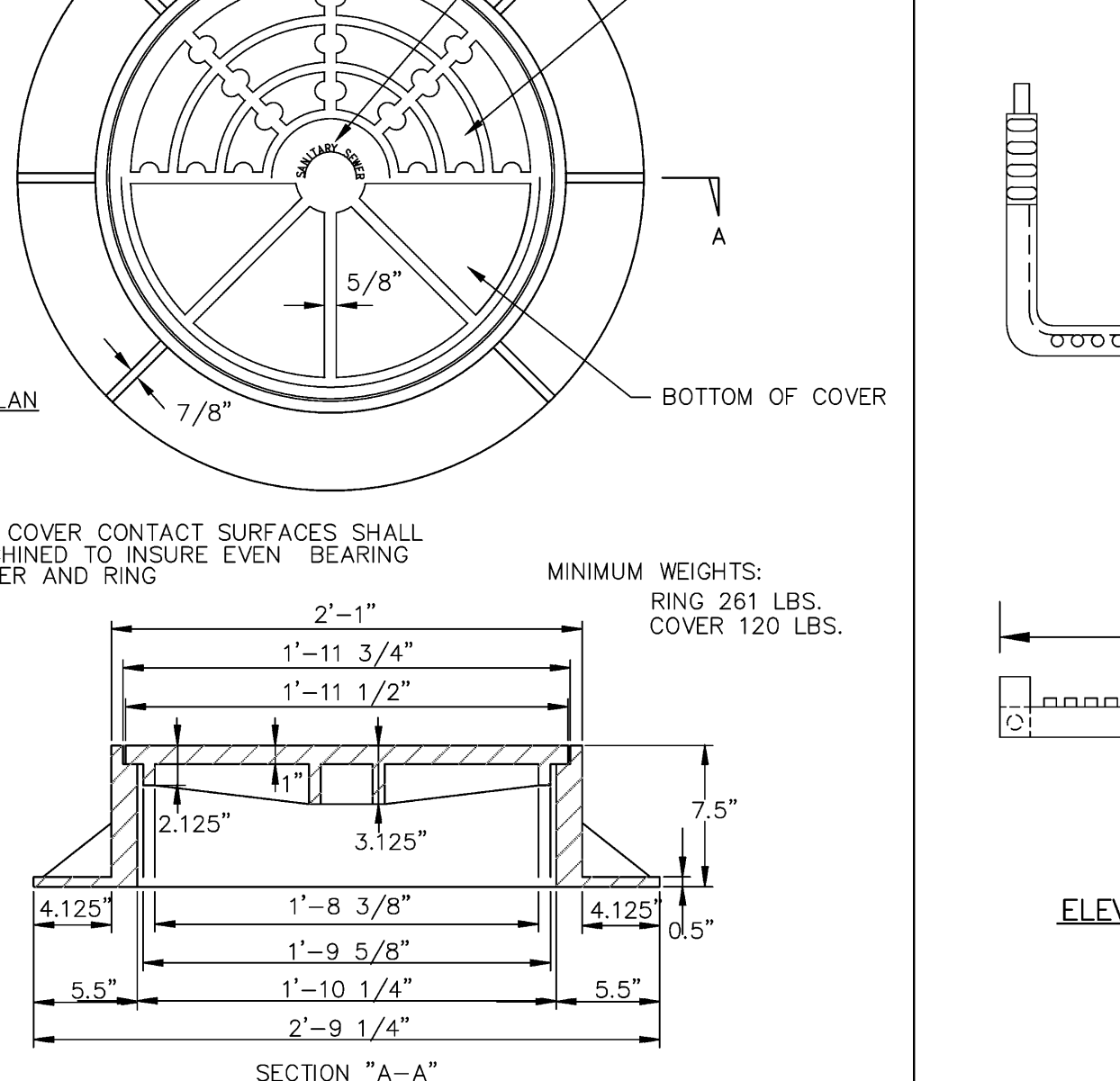
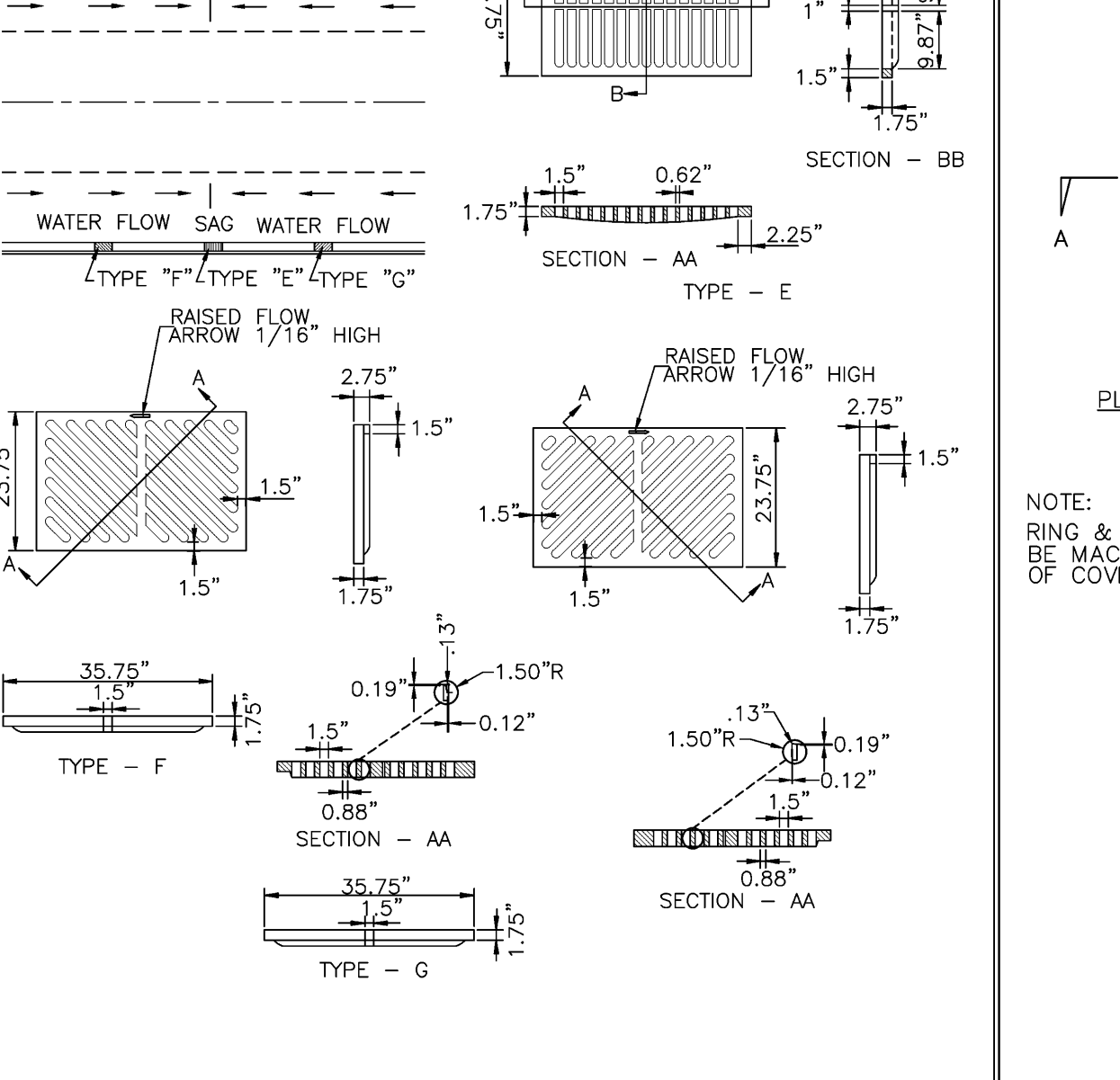
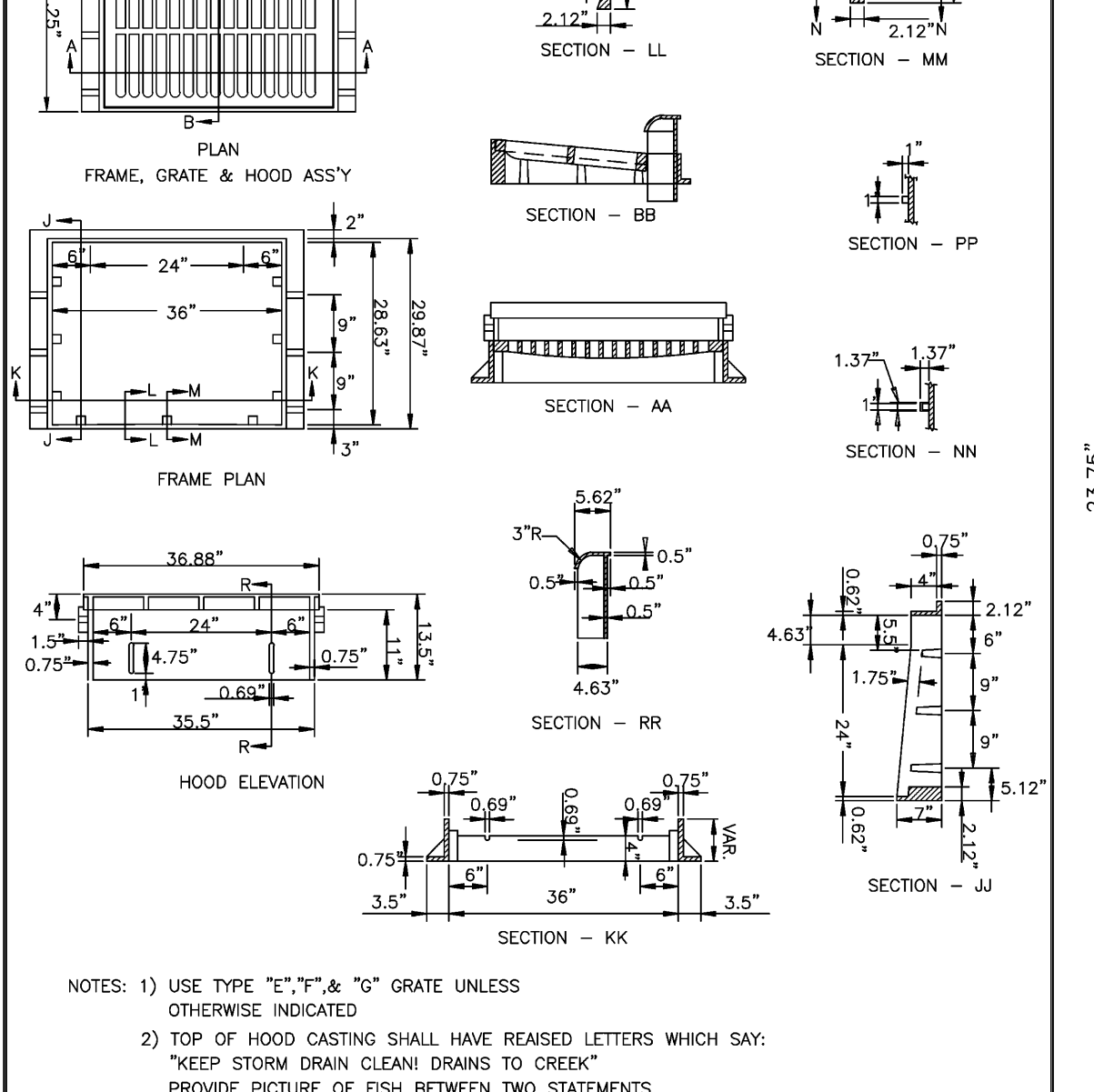
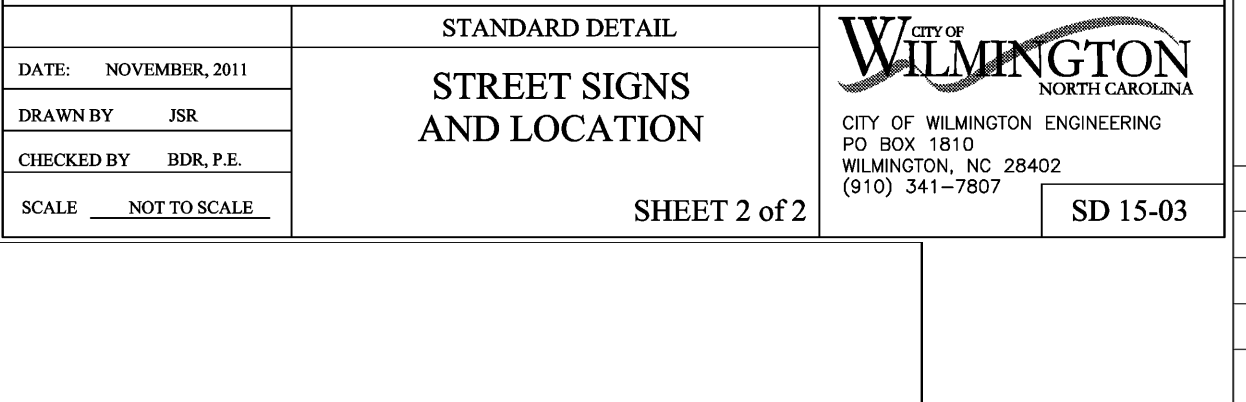
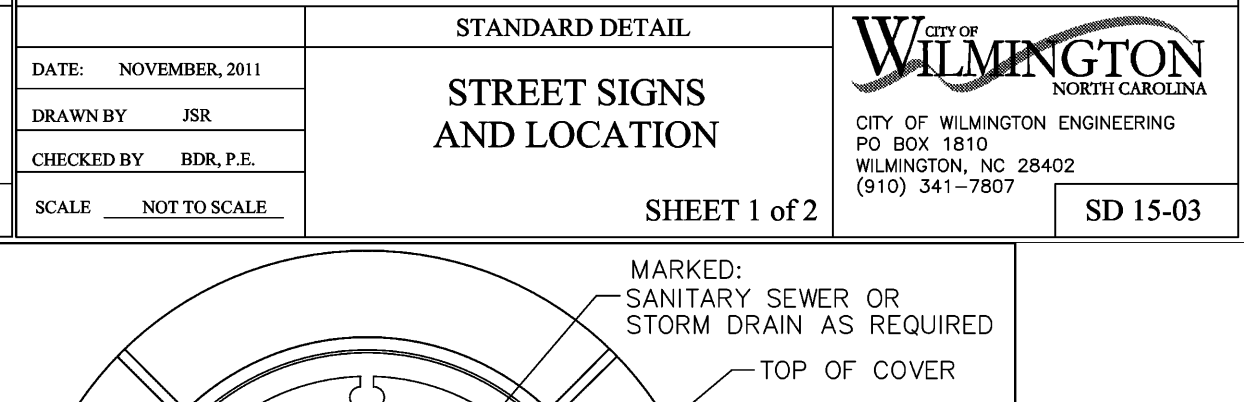
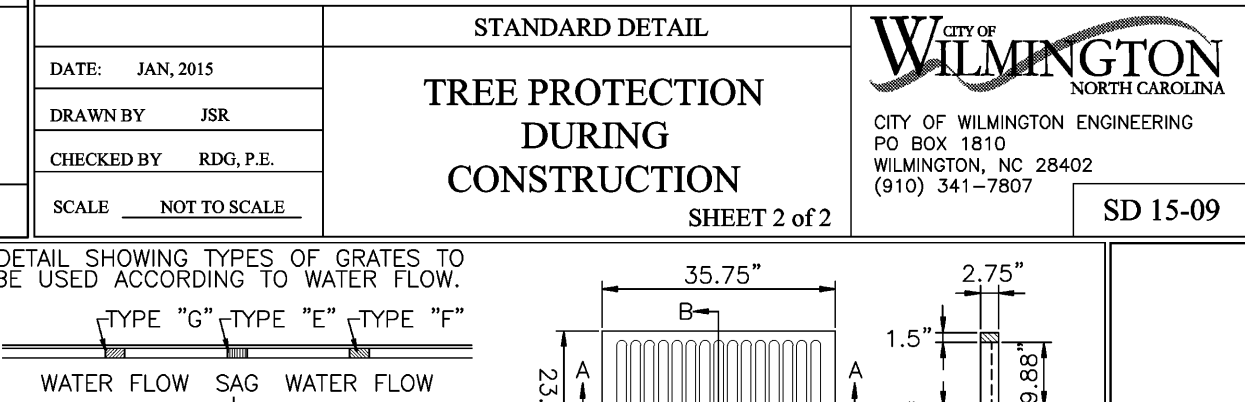
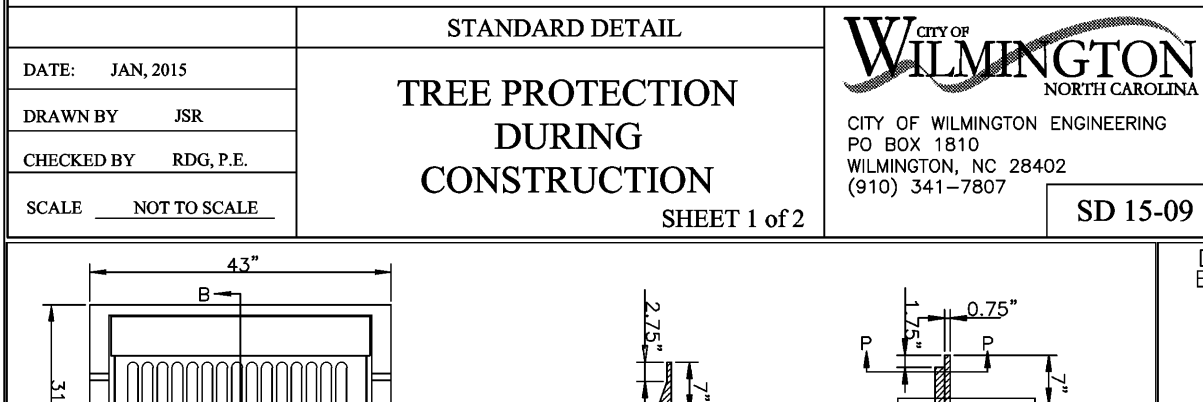
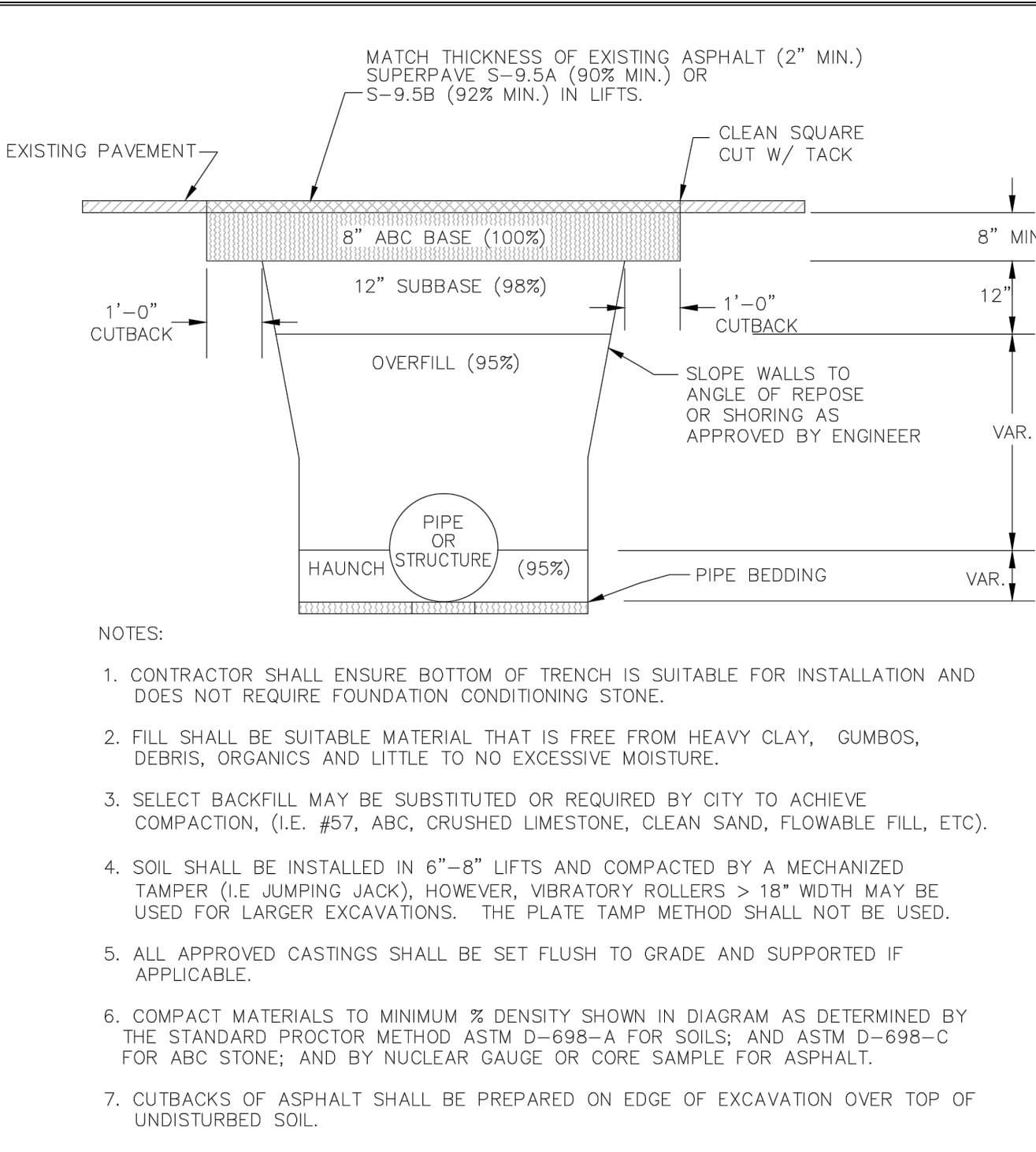




**SIGNS**

- All signs shall meet the requirements of MUTCD and City Traffic Engineering in effect at the time of construction.
- All Traffic Control Signs including multi-use paths shall be fabricated with 0.080 inch aluminum blanks using high intensity prismatic reflective sheeting Type IV or better. STOP signs shall be a minimum of 30"x30".
- SPECIAL DESIGNATION signs by location and type shall adhere to City of Wilmington signage plan (i.e. downtown, historic, cross-city trail, parks, riverfront, scenic by-way, parking, etc.) and all associated policies.
- POST MOUNTED STREET NAME SIGNS shall be fabricated with 9" extruded aluminum street name sign blanks using a standard cut-out. Minimum sign length is 18" long and increasing in 6" increments to 54" maximum as dictated by the number of letters in the name. The color scheme shall be white letters on a green background without a border. Generally, in the downtown and historic areas or as designated in the City of Wilmington signage plan the background shall be blue and contain a topper.
- Decorative sign posts shall consist of the NEX sign support system, 2" octagonal tube, 14 gauge, powder coated glossy black and include cap, post, base and wedge.
- All other sign posts shall be u-channel posts made of galvanized steel with 8" posts 2lbs/ft or 12" posts 3lbs/ft. Galvanized NEX post may be substituted with approval from the City Signs and Markings Engineer.
- OVERHEAD STREET NAME SIGNS shall be fabricated with 0.080 inch aluminum flat sign blanks 18" in height using a standard cut-out. Sign length will be dictated by the number of letters in the name. For mast-arm type traffic signal supports and other overhead support systems refer to the design plans for maximum sign supports.
- All sign lettering, colors and fonts shall adhere to the MUTCD in effect at the time of construction. Fluorescent Yellow-Green shall be used on signs, in place of Yellow, when listed as an optional color in the MUTCD. Generally, the font will be FHWA series fonts (Highway Gothic). Other font types require prior City Signs and Markings Engineer approval.
- Sign locations depend on the edge of road condition. Generally, signs shall be a minimum 2' from face of a vertical curb, 4' from front of slope face curb, and 6' from edge of pavement without curb. Signs shall not be located more than 12' from any of these locations.
- Sign posts installed in dirt shall be buried a minimum of 36". Octagonal posts shall utilize an anti-spin device, 6" in length minimum. Sign posts installed in concrete or brick shall utilize a base cast in concrete 24" x 12" diameter.
- Street name signs shall be installed 8'-8" from the ground to the bottom of the sign. Street name signs co-located with STOP signs shall be installed above the STOP sign. A 6" space shall be maintained between the STOP sign and a street name sign that is parallel to the STOP sign face. All other signs should be mounted per MUTCD guidelines for Urban Areas.

DATE: NOVEMBER, 2011  
DRAWN BY: JSR  
CHECKED BY: RDG, P.E.  
SCALE: NOT TO SCALE



Approved Construction Plan

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning: \_\_\_\_\_

Traffic: \_\_\_\_\_

Fire: \_\_\_\_\_

Public Services • Engineering Division  
APPROVED STORMWATER MANAGEMENT PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

DETAIL SHEET  
**GOVERNMENT CENTER APARTMENTS**  
WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

FINAL DRAWING NOT RELEASED FOR CONSTRUCTION

MALPASS ENGINEERING & SURVEYING, P.C.  
1134 SHIPYARD BOULEVARD  
WILMINGTON, NORTH CAROLINA 28412  
Phone 910-392-6343  
Fax 910-392-6203 License No. C-2320

Developer: TRIBUTE INVESTMENT & DEVELOPMENT, INC.  
10 S. CARDINAL DRIVE  
WILMINGTON, NORTH CAROLINA 28403

DATE: 6-17-16  
SCALE: N.T.S.  
DRAWN: JCB  
CHECKED: JEM  
PROJECT NO: 269  
SHEET NO: 8  
OF: 12



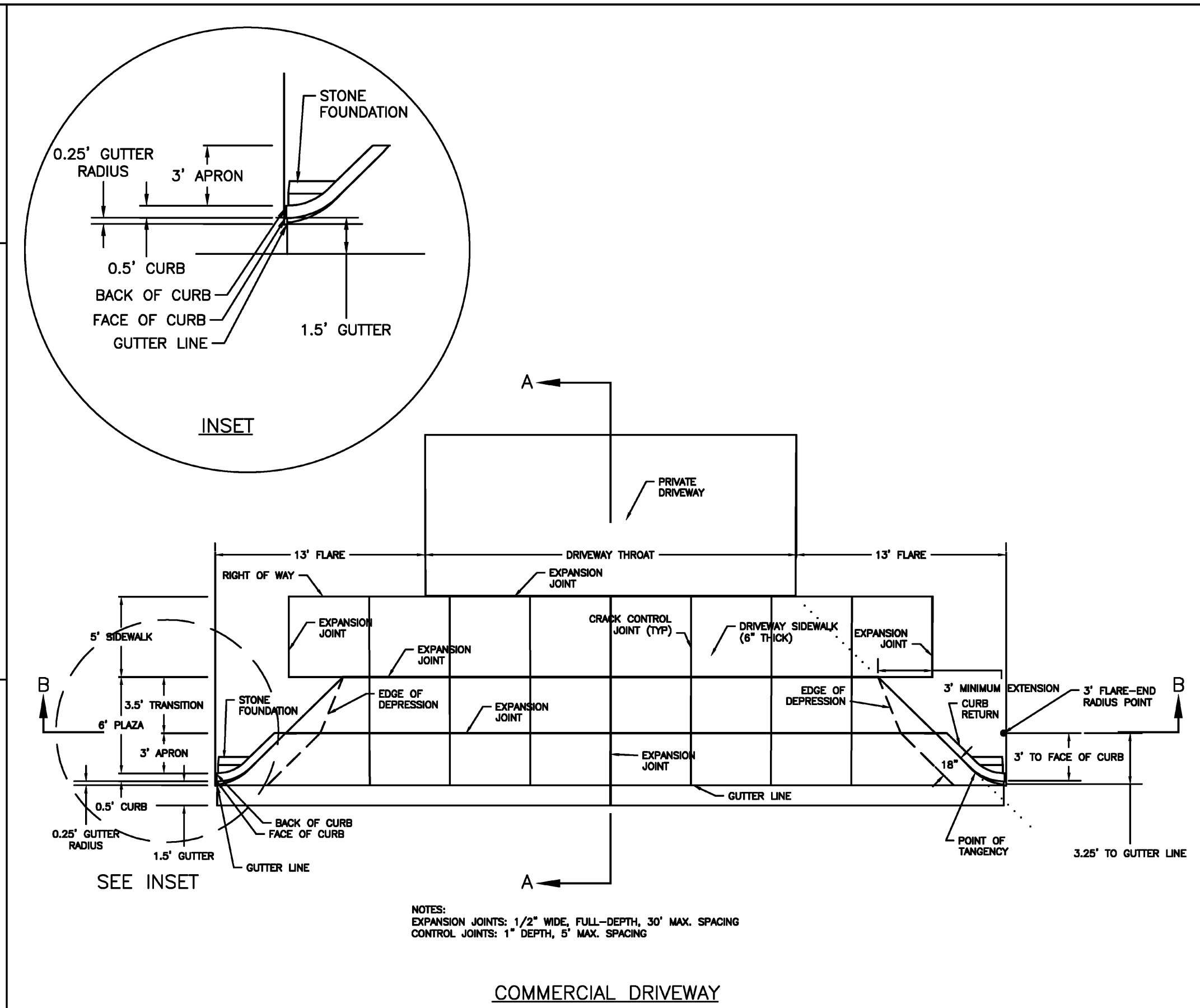
DATE: JUNE 1, 2015  
 DRAWN BY: JSR  
 CHECKED BY: D.F.C., P.E.  
 SCALE: NOT TO SCALE

**COMMERCIAL DRIVEWAY PLAN**

1 OF 2

CITY OF WILMINGTON  
 NORTH CAROLINA  
 ENGINEERING  
 PO BOX 1810  
 WILMINGTON, N.C. 28402  
 (910) 341-7807

SD 3-03.3



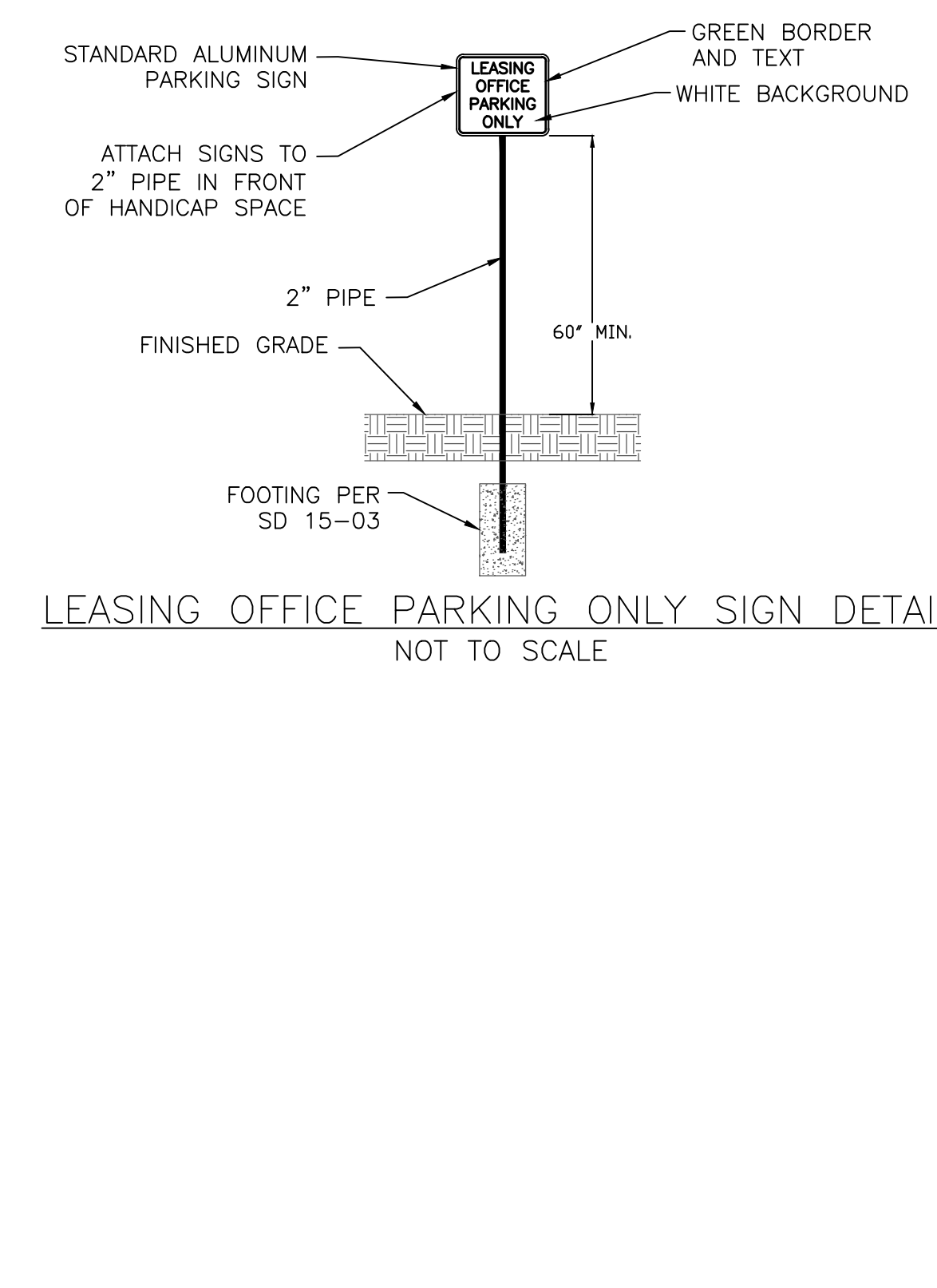
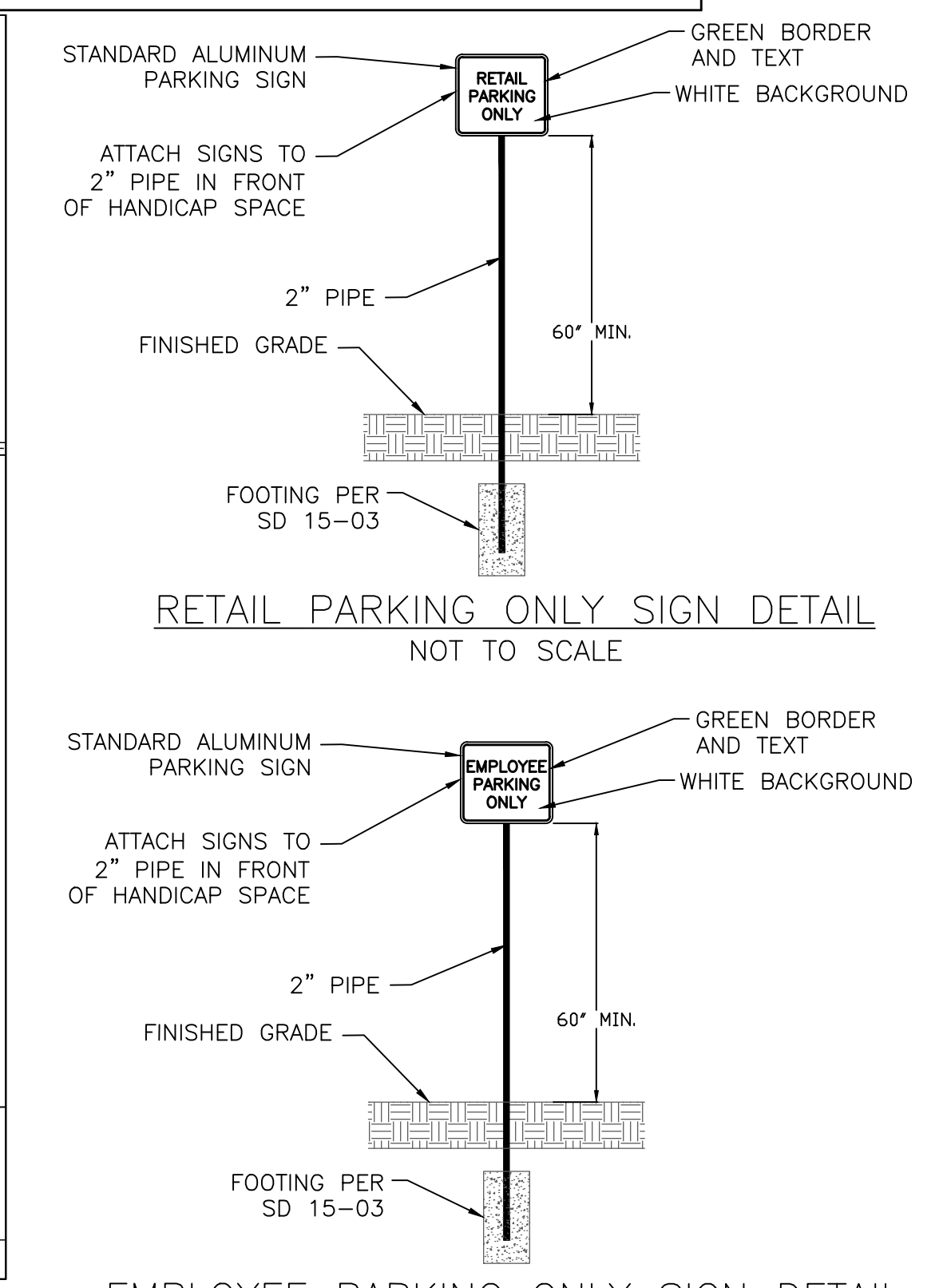
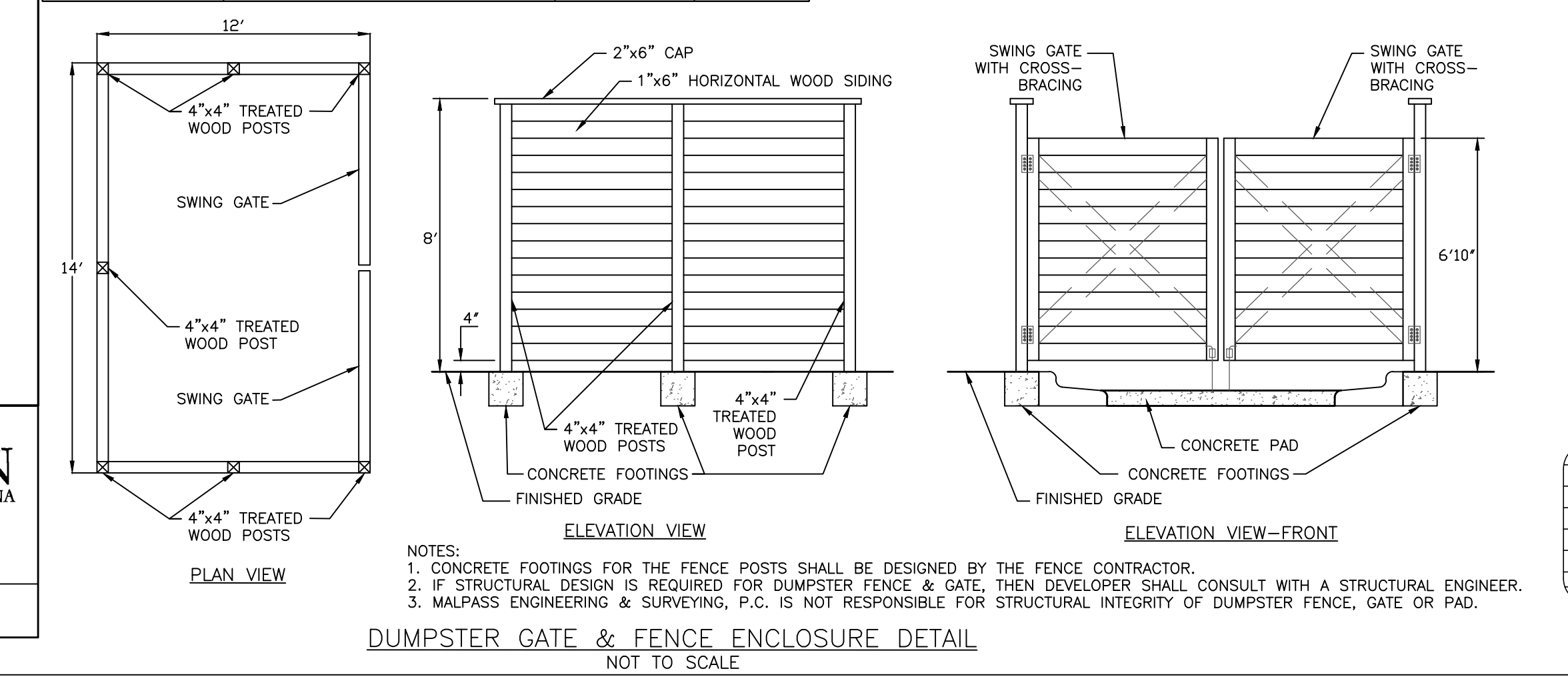
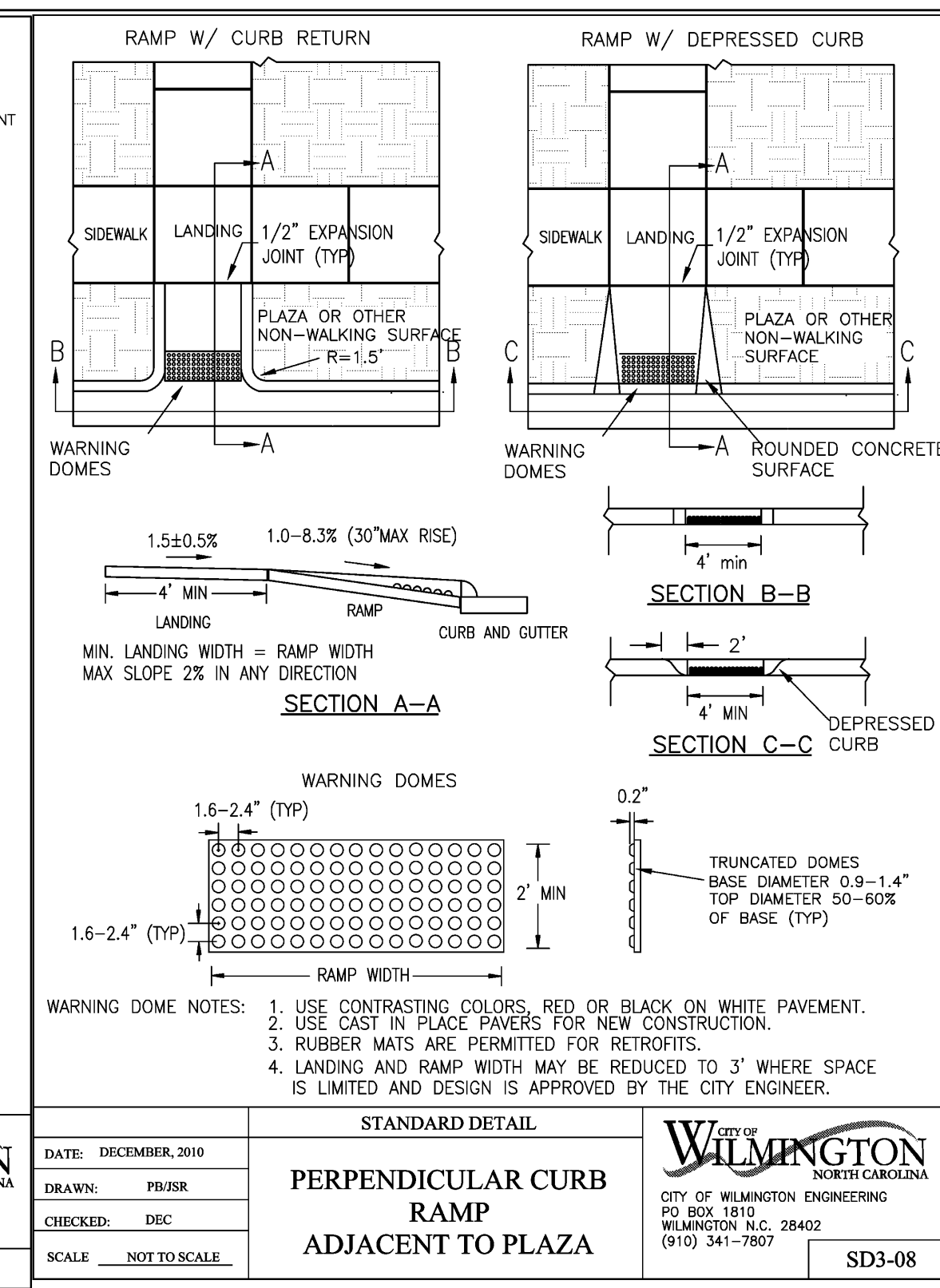
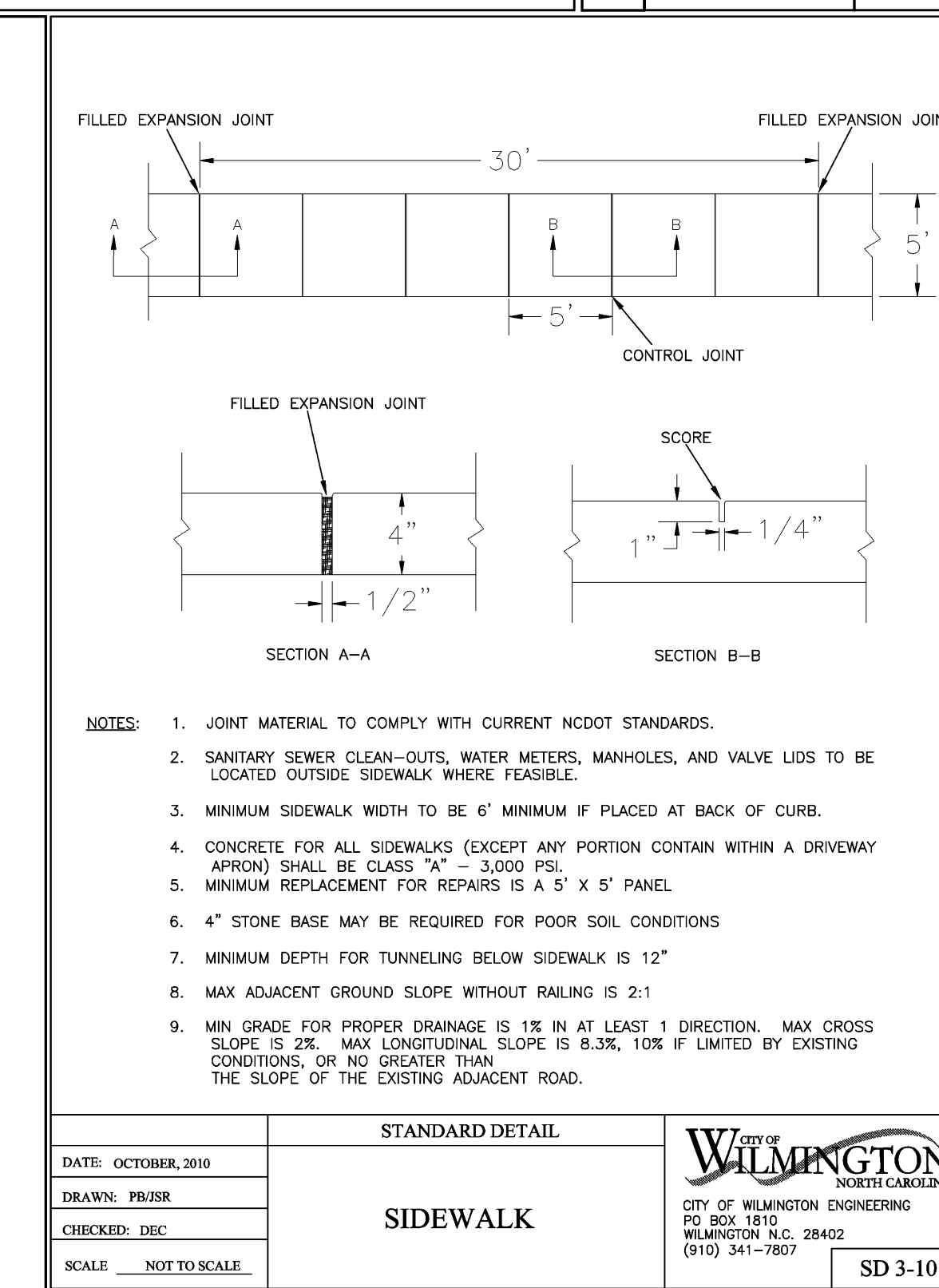
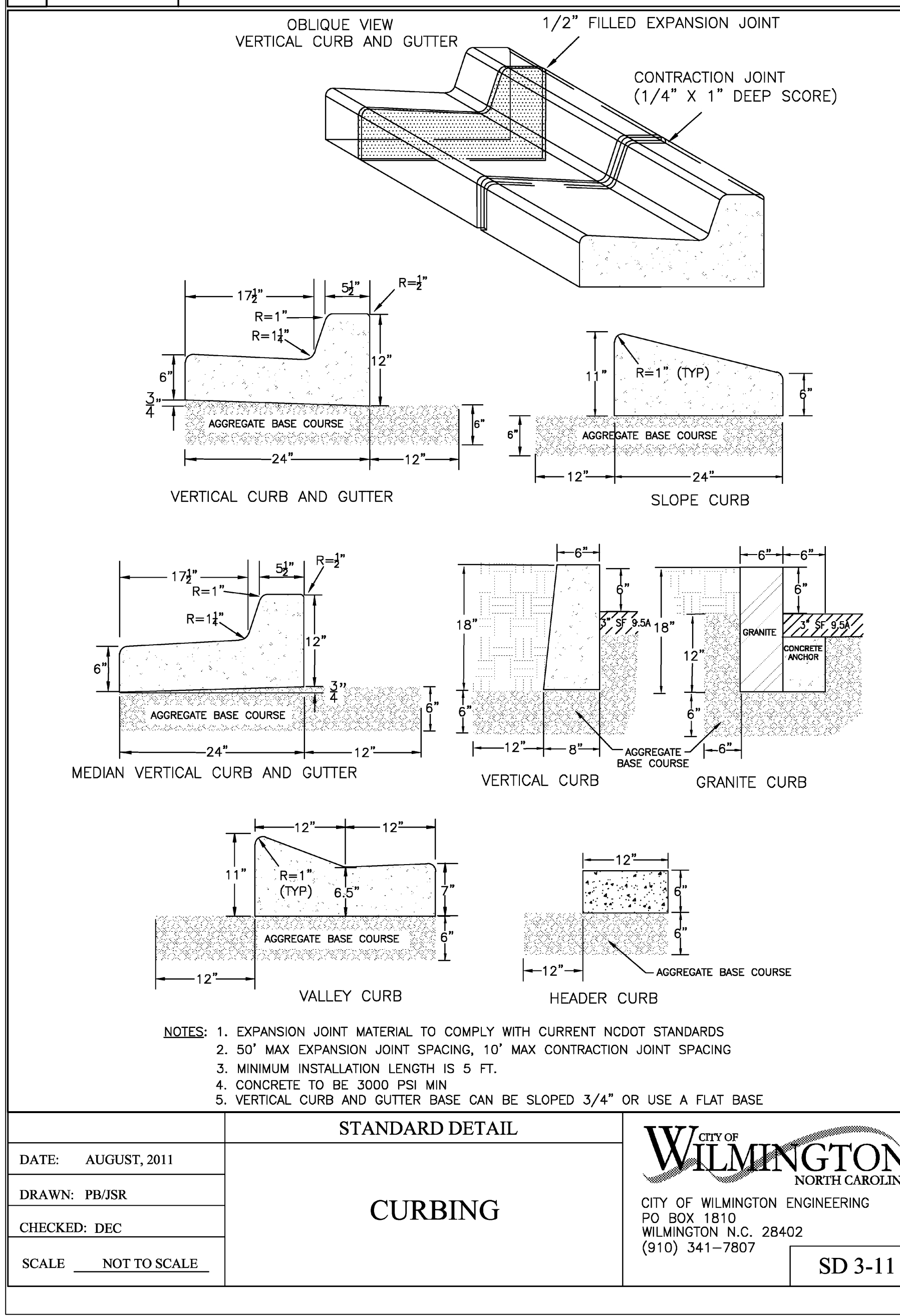
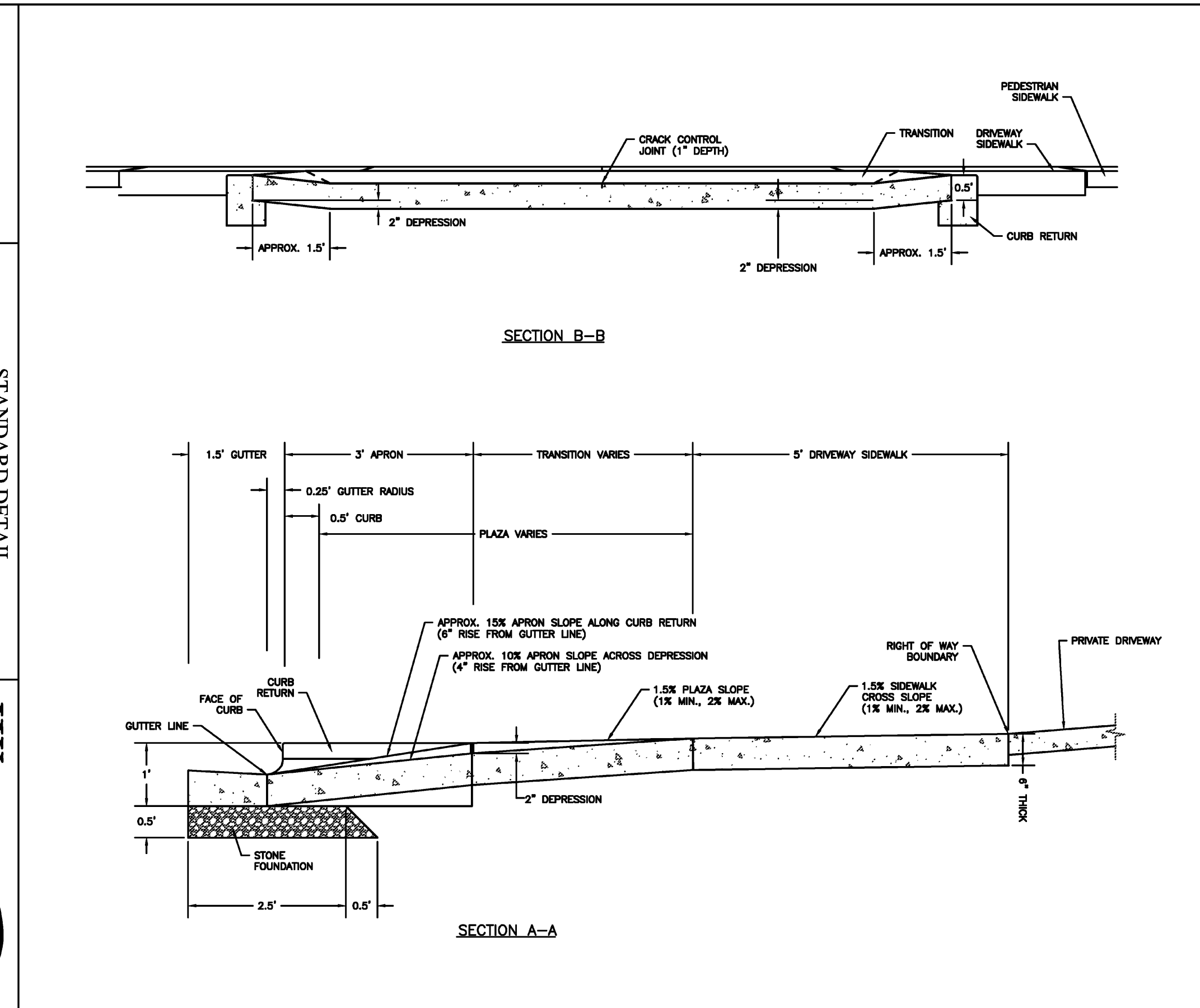
DATE: JUNE 1, 2015  
 DRAWN BY: JSR  
 CHECKED BY: D.F.C., P.E.  
 SCALE: NOT TO SCALE

**COMMERCIAL DRIVEWAY SECTIONS**

2 OF 2

CITY OF WILMINGTON  
 NORTH CAROLINA  
 ENGINEERING  
 PO BOX 1810  
 WILMINGTON, N.C. 28402  
 (910) 341-7807

SD 3-03.4



**Approved Construction Plan**

Name: \_\_\_\_\_ Date: \_\_\_\_\_

Planning: \_\_\_\_\_  
 Traffic: \_\_\_\_\_  
 Fire: \_\_\_\_\_

**GRAPHIC SCALE**

( IN FEET )  
 1 inch = 20 ft.

**DETAIL SHEET**

**GOVERNMENT CENTER APARTMENTS**

WILMINGTON TOWNSHIP NEW HANOVER COUNTY NORTH CAROLINA

**FINAL DRAWING NOT RELEASED FOR CONSTRUCTION**

MALPASS ENGINEERING & SURVEYING, P.C.  
 1134 SHIPYARD BOULEVARD  
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DATE: 6-17-16  
 SCALE: N.T.S.  
 DRAWN: JCB  
 CHECKED: JEM  
 PROJECT NO: 269

SHEET NO: 9  
 OF: 12



